

GENERAL

STARTING CONSTRUCTION BEFORE PLANS APPROVAL MAY RESULT IN A STOP WORK ORDER BY AHJ.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE ORDINANCES AND CODE. CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AS OUTLINED IN THE COMMONWEALTH OF VIRGINIA'S CODE OF VIRGINIA.

CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSE, FEES, INSPECTIONS, ETC.

CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL STEPS NECESSARY (INCLUDING FURNISHING DATA, COORDINATING DRAWINGS, CONDUCTING COORDINATION MEETINGS, AND ANALYZING AND EXAMINING PLANS AND SPECS) TO COORDINATE SCOPE OF WORK WITH EXISTING GROUND AND STRUCTURE CONDITIONS, AND ALL PLUMBING, MECHANICAL, ELECTRICAL SUBCONTRACTORS AND OWNERS' IT-DATA-PHONE-SECURITY CONTRACTORS TO ENSURE COMPLETE COVERAGE FOR ALL WORK SHOWN AND IMPLIED ON THE PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL REMAIN ON PROJECT TO COMPLETE WORK IN A CONTINUOUS AND UNINTERRUPTED TIMELINE ONCE CONSTRUCTION HAS BEGUN. PROVIDE OWNER WITH A PROJECT SCHEDULE, COMPLETE WITH PHASING OF WORK, WITH SUBMISSION OF THE BID PROPOSAL.

NO FORMAL STORM WATER MANAGEMENT PLANS, SPECIFICATIONS, OR CALCULATIONS HAVE BEEN REQUIRED FOR THIS PROJECT BY CITY OF BRISTOL-VIRGINIA; LIMITED VEGETATED AREA DISTURBANCE. REFER TO EROSION & SEDIMENT CONTROL PLAN AND SPECIFICATIONS HEREIN. CITY OF BRISTOL-VIRGINIA IS THE REGULATORY AUTHORITY HAVING JURISDICTION FOR ALL SUCH EROSION AND SEDIMENT CONTROL AND STORM WATER PRACTICES.

PROVIDE ALL LABOR, EQUIPMENT, ETC. REQUIRED TO COMPLETE THE INSTALLATION SHOWN ON THE DRAWINGS. "DOCUMENTS" SHALL MEAN ALL DRAWINGS, NOTES AND SPECIFICATIONS DEVELOPED BY THE ARCHITECT/ENGINEER IN DESCRIBING THIS PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN A FULL-SIZE COPY OF THE PERMIT-APPROVED PLANS ON THE JOB SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SUCH SHALL BE RETAINED ON THE JOB SITE UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED BY THE FIRE MARSHAL, AHJ AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

ALL WORKMANSHIP SHALL BE HIGH QUALITY. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PROVIDE ALL MATERIAL AS SPECIFIED HEREIN, BUT NOT LESS IN QUALITY AND/OR OTHER MINIMUM STANDARDS AS FURTHER STATED HEREIN. CONTRACTOR'S INSTALLATION OF THE WORK GUARANTEES CONTRACTOR HAS MET MANUFACTURER'S WARRANTY REQUIREMENTS OF THE WORK.

GENERAL CONTRACTOR SHALL EXERCISE CARE IN PREVENTING DAMAGE TO THE EXISTING FACILITY (REPAIR OF SUCH DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR).

CONTRACTOR SHALL MAKE ALL PATCHES REQUIRED IN EXISTING FINISHES IN SUCH A MANNER TO MATCH AND BLEND INTO ADJACENT MATERIAL AND FINISH AS MUCH AS POSSIBLE.

DO NOT SCALE FROM PLAN SHEETS. REFER ALL QUESTIONS THROUGH OWNER.

ALL MATERIAL TO BE REMOVED FROM THE PROPERTY IS THE PROPERTY OF THE OWNER. MATERIAL DEEMED NEITHER SALVAGEABLE NOR DESIRED BY THE OWNER SHALL BE REMOVED OFF-SITE BY CONTRACTOR AND LEGALLY DISPOSED. CONTRACTOR BEARS SOLE RESPONSIBILITY OF PROVIDING SUCH DOCUMENTATION OF LEGAL DISPOSAL, IF REQUIRED, UPON REQUEST.

NO DESTRUCTIVE SURVEY OR OTHERWISE INVASIVE INVESTIGATION CONDUCTED TO DETERMINE LOCATION OF EXISTING BURIED UTILITIES INSIDE BUILDING OR ON THE SITE. ALL LOCATIONS SHOWN ON THE PLANS REPRESENT THOSE CONDITIONS ACTUALLY OBSERVED OR AS CONVEYED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY CONTINUED SUCCESSFUL OPERATION OF ANY BURIED UTILITY PRIOR TO MAKING NEW CONNECTIONS INTO SUCH EXISTING SERVICE LINE(S).

DOCUMENTS

OWNERSHIP OF DOCUMENTS - THESE DOCUMENTS, INCLUDING THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, ARE THE PROPERTY OF THE ARCHITECTS AND ENGINEERS, EACH RESPECTIVELY, AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ARCHITECTS OR ENGINEERS.

REFERENCE ACCOMPANYING ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS CONTAINED HEREIN THIS PROJECT PLAN SET.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN ALL DRAWINGS AND SPECIFICATIONS PROVIDED:

BEFORE BEGINNING WORK, CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING HORIZONTAL AND VERTICAL DIMENSIONS.

ALL DIMENSIONS ARE MEASURED TO FINISHED FACE OF EXISTING OR NEW CONSTRUCTION, CENTERLINE OF OPENING (U.O.N.).

DO NOT SCALE FROM PLAN SHEETS. QUESTIONS SHALL BE DIRECTED TO OWNER AS NEEDED.

ENVIRONMENTAL AND HAZARDOUS MATERIAL:

NO ASBESTOS CONTAINING MATERIALS ARE ALLOWED FOR USE ON THIS PROJECT.

AN ENVIRONMENTAL STUDY OF THE SITE HAS BEEN COMPLETED BY OWNER; COPY MAY BE OBTAINED FROM OWNER UPON WRITTEN REQUEST.

IN THE EVENT THAT ASBESTOS- OR LEAD PAINT- CONTAINING MATERIAL IS DISCOVERED AND/OR SUSPECTED, CONTRACTOR SHALL BRING SUCH TO THE IMMEDIATE ATTENTION OF THE OWNER PRIOR TO CONTINUING DISTURBANCE.

SURVEY DATA

NO FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED FOR THE PROJECT.

ALL UTILITIES SHOWN ON THE PLANS HAVE COME FROM PROVIDED FIELD SURVEY INFORMATION OR INTERPRETATIONS BY ARCHITECT AND ENGINEER OF INFORMATION SUPPLIED TO ARCHITECT AND ENGINEER BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND INVESTIGATE, AS MAY BE NEEDED, FOR ALL UNDERGROUND UTILITIES OR OTHERWISE BURIED STRUCTURES.

RECORD DOCUMENTATION:

RECORD CLOSEOUT PLAN SET OF DOCUMENTS: CONTRACTOR SHALL MAINTAIN A NEAT, RECORD, REDLINED SET OF APPROVED CONSTRUCTION DOCUMENTS THROUGHOUT THE PROJECT AND PROVIDE TO OWNER UPON COMPLETION. CONTRACTOR SHALL RECORD AS-BUILT LOCATIONS OF ALL INTERIOR BUILDING SHUT-OFF VALVES AND OTHER CONTROLS FOR UTILITIES AND REVIEW SUCH WITH OWNER BEFORE LEAVING SITE. CONTRACTOR SHALL PROVIDE LOCATION, ORIENTATION AND APPROXIMATE DEPTHS OF ALL EXTERIOR AND INTERIOR BURIED UTILITY LINES INSTALLED AS PART OF THIS WORK. REFER TO PROJECT MANUAL FOR ADDITIONAL PROJECT CLOSEOUT REQUIREMENTS.

SITework

GENERAL:

ALL SPOT ELEVATIONS ARE INTENDED FOR FINAL GRADE.

HARDSCAPE / PAVEMENT:

PAVEMENT / SIDEWALK PATCHING SHALL MATCH EXISTING INSTALLED SECTION, U.O.N.

UTILITIES:

REFER TO PLAN SHEETS T-2, C-0, C-1 AND ES-1 FOR ADDITIONAL GENERAL SITework, SITE UTILITY AND EROSION & SEDIMENT CONTROL NOTES.

CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ACTUAL LOCATION OF ALL UNDERGROUND WORK / UTILITIES BEFORE DIGGING, AND SUBSEQUENT COORDINATION OF SUCH DURING INSTALLATION OF NEW WORK.

THE EXISTENCE AND LOCATION OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND FIELD VERIFIED BY CONTRACTOR BEFORE STARTING WORK.

ANY UTILITIES, AS MAY BE SHOWN ON THE PLANS, HAVE COME FROM FIELD VISUAL INFORMATION ONLY, AS PROVIDED BY OTHERS OR INTERPRETATIONS BY ENGINEER OF SITE INFORMATION AS SUPPLIED BY OWNER.

CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT MISS UTILITY "811" AND TO FIELD VERIFY AND INVESTIGATE, AS MAY BE NEEDED, FOR ALL UNDERGROUND UTILITIES OR OTHERWISE BURIED STRUCTURES.

QUESTIONS SHALL BE DIRECTED TO THE OWNER AND COORDINATED FOR COMPLIANCE WITH CITY OF BRISTOL-VIRGINIA UTILITY STANDARDS.

ANY DAMAGE DONE TO EXISTING UTILITIES AND FACILITIES SHALL BE REPAIRED WITH THE UTILITIES AND FACILITIES RESTORED TO AT LEAST THEIR ORIGINAL CONDITION, ALL AT CONTRACTOR'S EXPENSE ALL CONSIDERED "INCIDENTAL" WITHIN HIS BID.

MINIMUM PIPE COVER FOR UNDERGROUND CONDUITS LINES SHALL BE 3'-0" UNLESS OTHERWISE INDICATED.

WATER & SANITARY SEWER LINE WORK:

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND OBTAIN HEALTH DEPARTMENT SIGN-OFF CERTIFICATIONS FOR ALL WATER AND SANITARY SEWER INSTALLATIONS. PROVIDE FINAL DOCUMENTATION OF ACCEPTANCE AS PART OF CLOSEOUT DOCUMENTS.

RED-ROCK RETAINING WALL SYSTEM OR EQUAL: TURNKEY DESIGN AND CONSTRUCTION WORK TO INCLUDE WALL DESIGN ENGINEERING AND WALL DRAINAGE DESIGN, WALL MATERIAL SUPPLY AND ACCESSORIES, GEO-TEXTILE FABRIC, WHERE APPLICABLE, WALL EXCAVATION & BACKFILL, DRAIN STONE, WALL SOIL BACKFILL AND FINAL GRADING.

TWO WALLS SPECIFIED ON PLANS: WALL NO. 1 ALONG NEW BUS DRIVE LANE & WALL NO. 2 AT REAR OF SITE ALONG CREEK EDGE.

WALL NO. 2 WILL REQUIRE SPECIAL ATTENTION FROM CONTRACTOR TO COORDINATE WITH ALL APPLICABLE REGULATORY AUTHORITIES RELATIVE TO GROUND DISTURBANCE AND NEW WALL CONSTRUCTION ALONG CREEK EDGE.

WALL DESIGN ENGINEERING SHALL BE PROVIDED THROUGH CONTRACTOR BY AN ENGINEER LICENSED IN COMMONWEALTH OF VIRGINIA.

RED-ROCK WALL VENDOR SHALL SUPPLY PE-SEALED WALL ENGINEERED SHOP DRAWINGS, DETAILS, SUPPORTING DESIGN CALCULATIONS, WALL CAP & END DETAILS, AND COMPLETE SPECIFICATIONS FOR OWNER REVIEW AND APPROVAL. DESIGN SHALL CONSIDER ALL SPECIFIED NEW FENCING AND RAILINGS AS SPECIFIED ON THE PLANS.

LOCAL VENDOR: KING CONTRACTORS, INC., ATTN: CHADWICK KING - PRESIDENT, 307 BONHAM ROAD - BRISTOL, VIRGINIA 24201 / 276.644.1586 OFFICE / 276.644.1586 FAX / 276.275.3199 CELL: CHAD@KINGCOMPANY.US OR EQUAL.

CONCRETE-MASONRY-STEEL NOTES

STRUCTURAL PLANS HAVE BEEN PROVIDED AS PART OF THESE PROJECT PLANS. REFERENCE APPLICABLE STRUCTURAL DESIGNED PLANS AND SPECIFICATIONS AS ATTACHED HERETO..

MILLWORK / WOODWORK

GENERAL CONTRACTOR SHALL PROVIDE 2 X WOOD BLOCKING IN WALL PER BEST PRACTICES FOR ALL WALL-MOUNTED, OWNER-FURNISHED, CONTRACTOR-SUPPLIED EQUIPMENT AND OTHER FURNISHINGS AS MAY BE NEEDED.

REGARDING OWNER-SUPPLIED EQUIPMENT AND FURNISHINGS, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER, PRIOR TO WALL CLOSE-UP, REGARDING ANY REQUIRED OR DESIRED 2X OR OTHER BLOCKING TO BE INSTALLED WITHIN THE WALL CAVITY FOR OWNER-SUPPLIED EQUIPMENT AND/OR FURNISHINGS.

OWNER SHALL FURNISH AND INSTALL ALL WALL- OR CEILING-MOUNTED CABINETS / SHELVING / EQUIPMENT / FURNISHINGS. CONTRACTOR REQUIRED TO COORDINATE ALL SUCH LOCATIONS AND EQUIPMENT AND SHALL PROVIDE ALL NECESSARY WOOD BLOCKING FOR SUPPORT; ALL ANCHORING OF SUCH CABINETS / SHELVING / EQUIPMENT / FURNISHINGS AND TO VERIFY THAT THE SUPPORTING STRUCTURE(S) HAVE THE PROPER BACKING OR SUPPORT NECESSARY FOR THE PARTICULAR INSTALLATION; AND THEN APPLY SUCH PROPER AND SUFFICIENT BACKING / BLOCKING AND/OR ANCHORAGE FOR THE SPECIFIC INSTALLATION AND USE PURPOSE(S) INTENDED.

GENERAL CONTRACTOR SHALL PROVIDE FIRE BLOCKING IN ALL VERTICAL AND HORIZONTAL CONCEALED SPACES AS REQUIRED PER CODE.

SELECT LUMBER PIECES IN LONGEST LENGTHS POSSIBLE AND LOCATE CUTS TO MINIMIZE JOINTS IN EXPOSED TRIM WORK.

COUNTERTOPS SHALL BE FURNISHED AND INSTALLED BY OWNER. ALL EXPOSED EDGES TO BE LAMINATED.

PROVIDE 1" THICK x 11" DEEP LAMINATED, MELAMINE SHELF BOARDS FULL WIDTH OF STORAGE-2 CLOSET W/ 1x LAMINATED SHELF BACK AND SIDE WALL SUPPORTS. SET BOTTOM SHELF AT 24" ABV FF AND THEN SPACED AT 12" CLEAR SEPARATION; TOTAL OF FIVE (5) SHELVES AS SPECIFIED ON PLAN A-1.

ROOFING & INSULATION

ROOFING DETAILS, WHERE PROVIDED, FOR REFERENCE ONLY. SELECTED MANUFACTURER'S STANDARD GOOD PRACTICES, RECOMMENDED DETAILS FOR APPLICATION SPECIFIED AND INSTALLATION PRACTICES SHALL GOVERN. CONTRACTOR RESPONSIBLE TO OBTAIN MANUFACTURERS FULL WARRANTY AND ACCEPTANCE OF INSTALLED ROOFING PRODUCTS PRIOR TO OWNER'S ACCEPTANCE OF WORK.

ALL INTERIOR WALLS TO BE INSULATED FULL HEIGHT FOR SOUND ATTENUATION. PROVIDE R-19, 6" UNFACED MINERAL FIBERGLASS BATT INSULATION IN 6" WALL PARTITIONS AND R-13, 3.5" UNFACED MINERAL FIBERGLASS BATT INSULATION IN 4" WALLS.

DOORS & FRAMES / HARDWARE / WINDOWS

NEW DOORS, NEW DOOR FRAMES, NEW WINDOWS, NEW GLAZING UNITS AND ALL ASSOCIATED HARDWARE SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR WITH NOT LESS THAN THE MINIMUM SPECIFICATIONS AND REQUIREMENTS AS OUTLINED HEREIN THESE DRAWINGS AND NOTES.

DOORS AND FRAMES:

SEE ALSO DOOR AND HARDWARE SCHEDULE. DOOR FRAMES SHALL BE AS SPECIFIED IN DOOR SCHEDULE. SEE DOOR AND HARDWARE SCHEDULE FOR SELECTED GLAZING OPTIONS AND SPECIFIED DOOR TYPES.

INTERIOR DOORS AND FRAMES:

INTERIOR DOORS SHALL BE 1-3/4" THICK, SOLID CORE WOOD UNLESS NOTED OTHERWISE. DOOR STYLE AND PAINT COLOR AS PROVIDED BY OWNER AND INSTALLED /APPLIED BY CONTRACTOR.

INTERIOR DOOR FRAMES SHALL BE 1X WOOD CASING, FIELD-CONSTRUCTED AND HOLLOW METAL AS SPECIFIED IN DOOR SCHEDULE. WOOD DOOR CASING SHALL BE NO.1 GRADE MATERIAL.

EXTERIOR & INTERIOR DOORS AND FRAMES:

EXISTING EXTERIOR & INTERIOR DOOR OPENINGS TO REMAIN SHALL HAVE DOOR HEAD RAISED TO ACCOMMODATE NEW 1.5" RAISED FINISHED FLOOR ELEVATION. AT EXISTING STOREFRONT ASSEMBLIES TO REMAIN, CONTRACTOR SHALL REMOVE, SALVAGE AND RE-INSTALL ALL EXISTING STOREFRONT ASSEMBLIES TO BE RE-USED. AT EXISTING HOLLOW METAL DOORS AND FRAMES, CONTRACTOR SHALL REMOVE EXISTING DOORS AND FRAMES; NEW HOLLOW METAL DOOR FRAMES AND DOORS SHALL BE INSTALLED WITH NEW HARDWARE AS SHOWN ON PLAN SHEETS. REFER TO DOOR SCHEDULE FOR DOOR AND HARDWARE REWORK AS NEEDED.

WINDOWS:

EXISTING EXTERIOR WINDOWS TO REMAIN UNLESS NOTED OTHERWISE; ALL EXTERIOR WINDOWS TO REMAIN SHALL HAVE GLAZING REMOVED AND REPLACED WITH NEW 1" DOUBLE INSULATED, TINTED GLAZING TO MATCH TINTING OF NEW WINDOW UNITS. RE-CALK BOTH INTERIOR AND EXTERIOR OF ALL SUCH WINDOW UNITS.

AT ALL EXTERIOR WINDOWS, NEW VINYL 1" MINI BLINDS, INSIDE MOUNT TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR. NO INTERIOR WINDOW UNITS TO RECEIVE BLINDS.

DOOR HARDWARE:

ALL HARDWARE SHALL BE ADA-COMPLIANT, COMMERCIAL GRADE, HEAVY-DUTY U.O.. LEVER SET AND FLOOR STOP HARDWARE TYPICAL EACH DOOR. DOOR HARDWARE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.

CONTRACTOR SHALL COORDINATE KEYING OF LOCKSETS DIRECTLY WITH OWNER. PROVIDE MINIMUM TWO (2) KEYS PER LOCKSET.

INSTALL OWNER-FURNISHED TRANSITION STRIPS / THRESHOLDS AT ALL FLOOR MATERIAL CHANGES AND EXTERIOR DOORS.

ALL DOORS SHALL BE PROVIDED WITH RUBBER DOOR SILENCERS MOUNTED IN FRAME, TOTAL OF THREE (3) PER DOOR LEAF.

HARDWARE SETS - REFERENCE DOOR AND HARDWARE SCHEDULE ON THE DRAWINGS TO MATCH THE NOTED HARDWARE SETS TO THE SPECIFIC DOOR APPLICATION. OWNER SHALL PROVIDE COMPLETE, APPROVED PROJECT DOOR HARDWARE SUBMITTAL FOR CONTRACTOR'S USE.

FINISHES

ADHESIVES AND SEALANTS:

ALL ADHESIVES EMPLOYED ON THIS PROJECT (INCLUDING, BUT NOT LIMITED TO, ADHESIVES FOR CARPET, CARPET TILE, PLASTIC LAMINATE, WALL COVERINGS, ADHESIVES FOR WOOD, OR SEALANTS) SHALL BE THOSE WITH THE LOWEST POSSIBLE VOC CONTENT BELOW 20 GRAMS PER LITER AND WHICH MEET THE REQUIREMENTS OF THE MANUFACTURER OF THE PRODUCTS ADHERED OR INVOLVED. CONTRACTOR SHALL USE ADHESIVES AND SEALANTS WITH NO FORMALDEHYDE OR HEAVY METALS.

WALL PARTITIONS:

NEW WALLS: GYPSUM WALL BOARD AND INSULATION SHALL BE INSTALLED FULL HEIGHT TO UNDERSIDE OF TRUSSES / JOINTS U.O.N WITH UNFACED, FIBERGLASS BATTS 3.5" (R-13) TYPICAL; USE 6" (R-19) AT 6" WALLS.

AIJ WALLS SHALL BE 2 X 4, 2 X 6 FRAMING OR FRAMING AS NOTED OTHERWISE @ 16" O.C., WITH ONE LAYER OF 5/8" GYPSUM WALLBOARD EACH SIDE.

ALL NEW WALLS SHALL BE FRAMED TO UNDERSIDE OF TRUSSES / JOISTS OR OTHERWISE ADEQUATELY BRACED AS REQUIRED ABOVE FINISHED CEILING.

FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER FIRE-RATED WALL ASSEMBLY SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:

- (1) BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES;
- (2) BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND
- (3) INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE WORDING: "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS".

INSTALL GYPSUM BOARD PRODUCTS THE LARGEST PIECES PRACTICAL TO MINIMIZE JOINTS.

CONTRACTOR SHALL INSTALL GREEN BOARD IN ALL WET AREAS - FLOOR AND CEILINGS AS PER MANUFACTURER'S RECOMMENDATIONS AND STANDARD PRACTICES.

CONTRACTOR SHALL INSTALL CEMENT-BACKER BOARD AT ALL WALL MOUNTED CERAMIC TILE APPLICATIONS.

PROVIDE PLYWOOD 4x8x3/4" PANELS ON WALLS OF MECHANICAL JANITORIAL AND IT ROOMS AS SPECIFIED ON PLAN A-1 FOR UTILITY USE. PANELS SHALL BE PAINTED TO MATCH WALL COLOR AND SET 1" ABOVE TOP OF WALL BASE. (AT 8' CEILINGS, SET TOP OF PANEL 1" BELOW FINISHED CEILING HGT.

PROVIDE FILLER PIECES AS NEEDED FOR FLUSH-FIT CONDITIONS BETWEEN CLEAR MILLWORK OPENINGS. CONTRACTOR RESPONSIBLE TO FIELD-VERIFY CONDITIONS PRIOR TO RELEASING MILLWORK FOR FABRICATION.

CEILINGS:

LAY-IN ACOUSTICAL PANEL CEILING SYSTEM SHALL BE 2 X 2 PANELS AND ½" METAL, WHITE GRID, SUSPENDED, ARMSTRONG OR EQUAL. CEILING SYSTEMS SHALL HAVE A MINIMUM NOISE REDUCTION COEFFICIENT (NRC) OF 0.60 AND A MINIMUM SOUND TRANSMISSION CLASS (STC) OF 40.

REFLECTED CEILING PLAN PROVIDED AS A SCHEMATIC GUIDE FOR CONTRACTOR IN THE FIELD. CONTRACTOR SHALL BE RESPONSIBLE THAT ALL CEILING LAY-IN GRID PATTERNS ARE CENTERED BOTH WAYS WITHIN EACH ISOLATED ROOM OR DEFINED CEILING SPACE. MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL PANELS TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH CEILING. AVOID USING LESS-THAN-HALF-WIDTH PANELS AT BORDERS, BUT IN NO CASES LESS THAN 8" MINIMUM WIDTH.

COORDINATE LOCATION OF ALL CEILING MOUNTED FIXTURES AND EQUIPMENT WITH EACH TRADE AND ARCHITECTURAL REFLECTED CEILING PLAN.

ALL CEILING MOUNTED DEVICES SHALL BE ALIGNED AND CENTERED WITHIN A CEILING PANEL AND WITH OTHER CEILING MOUNTED DEVICES, IN ALL DIRECTIONS, WHERE POSSIBLE.

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER'S OTHER CONTRACTORS (I.E., IT-DATA-PHONE-SECURITY AND OTHERS) AND SCHEDULING OF THEIR WORK FOR ALL ABOVE CEILING ACCEPTANCE PRIOR TO INSTALLATION OF THE CEILING TILE AND CLOSEUP OF CEILING SYSTEM.

REFER TO FINISH SCHEDULE FOR OTHER-SPECIFIED CEILING MATERIAL FINISH SELECTIONS.

FLOORING:

ALL FLOORING FINISHES MATERIAL, WITH EXCEPTION OF CERAMIC TILE IN SHOWER AND OTHER-DESIGNATED ROOMS, SHALL BE FURNISHED AND INSTALLED BY OWNER. CONTRACTOR RESPONSIBLE TO FURNISH AND INSTALL CERAMIC TILE IN SHOWER AND OTHER-DESIGNATED ROOMS; CONTRACTOR SHALL PROVIDE CERAMIC TILE AND ACCESSORIES PRODUCT SELECTIONS FOR OWNER REVIEW AND APPROVAL.

CONTRACTOR SHALL REPAIR/PATCH EXISTING FLOORING FINISHED SURFACES AS REQUIRED TO MATCH SIMILAR CONDITIONS; PREPARE FOR NEW 1.5" GYPSUM FLOOR LEVELER APPLICATION AND PROVIDE NEW 1.5" GYPSUM FLOOR LEVELER APPLICATION THROUGHOUT ENTIRE EXISTING FACILITY. CONTRACTOR SHALL COORDINATE NEW ADDITION FINISHED FLOOR ELEVATION WITH FINAL RAISED FLOOR LEVELER APPLICATION BETWEEN EXISTING AND NEW WORK. CONTRACTOR SHALL PREPARE PROPER SUBFLOOR BASE PRIOR TO INSTALLATION OF NEW FINISH FLOOR PRODUCTS BY CONTRACTOR AND OWNER. NEW FLOORING AS SPECIFIED IN FINISH SCHEDULE. PROVIDE TRANSITIONS AS RECOMMENDED BY MANUFACTURER THROUGHOUT.

LAMINATED VINYL FLOOR TILE (LVT) SHALL BE COMMERCIAL-GRADE, HEAVY DUTY.

VINYL SHEET GOODS (VSG) SHALL BE COMMERCIAL-GRADE, HEAVY DUTY.

ROLLED GOODS CARPETING SHALL BE INSTALLED ACCORDANCE WITH MANUFACTURING INSTRUCTIONS TO LIE SMOOTHLY AND EVENLY.

CONTRACTOR SHALL ENSURE THAT FLOOR COVERINGS ARE TO BE INSTALLED ACCORDANCE WITH MANUFACTURING INSTRUCTIONS. ALL MANUFACTURERS' INSTRUCTIONS REGARDING TESTING THE SLAB FOR MOISTURE MUST BE ADHERED TO PRIOR TO INSTALLATION OF THE FINISHED FLOOR MATERIAL. CONTRACTOR RESPONSIBLE FOR THE TESTING, PREPARING, AND OBTAINING OF ALL CERTIFICATIONS FROM MANUFACTURER OF SUB-FLOOR/CONCRETE SLAB AND FLOOR LEVELER PRODUCT RELATIVE TO LEVELNESS, SMOOTHNESS, AND MOISTURE CONTENT PRIOR TO APPLICATION OF FINISHED FLOORING MATERIALS TO ENSURE MANUFACTURER'S FULL ACCEPTANCE OF INSTALLED WORK. CONTRACTOR SHALL SUBMIT CERTIFICATIONS OF FLOOR PREPARATION ACCEPTANCE TO OWNER.

WALL BASE:

VINYL WALL BASE - 4" VINYL COVE BASE, 1/8" THICKNESS GLUED APPLICATION; MATERIALS FURNISHED BY OWNER - INSTALLED BY CONTRACTOR. CONTRACTOR SHALL UTILIZE LONGEST LENGTHS PRACTICAL, TO MINIMIZE JOINTS, SHALL INSTALL INSIDE CORNERS TO BE CUT AND OUTSIDE CORNERS WRAPPED IN WALL BASE APPLICATION.

PAINTING:

ALL JOINTS AND GAPS, AT ADJOINING TO BE PAINTED WOOD SURFACES AND WOOD/GYPSUM WALLBOARD SURFACES, SHALL BE CAULKED PRIOR TO FINISH PAINTING. UTILIZE PAINTABLE, COMMERCIAL GRADE SILICONIZED ACRYLIC CAULK SUITABLE FOR APPLICATION.

PREPARE AND PAINT ALL EXPOSED WOOD, CONCRETE MASONRY, GYPSUM WALLBOARD, AND HOLLOW METAL DOOR AND FRAME SURFACES PER THE MANUFACTURER'S RECOMMENDATIONS. PAINT FINISHES SHALL BE APPLIED IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICES TYPICAL FOR APPLICATION INSTALLED.

PAINT: PITTSBURGH, SHERWIN WILLIAMS OR BENJAMIN MOORE, OR AS OTHERWISE PROVIDED BY OWNER.

COLOR SELECTION AND ALL PAINT PRIME AND FINISH PAINT MATERIAL SHALL BE PROVIDED BY OWNER.

ALL INTERIOR WALLS SHALL BE PRIME PAINTED WITH LOW VOC PRIMER.

PAINT COLORS AS SELECTED BY OWNER.

PAINT APPLICATION SHALL BE BRUSHED AND / OR ROLLED ON. SPRAYED APPLICATIONS ACCEPTABLE ONLY AT TEXTURED WALLS OR CEILINGS SPECIALTY FINISHES.

PAINTED WALLS AND CEILINGS TO RECEIVE (1) PRIME COAT AND (2) FINISH COATS OF PAINT. TRIM WORK TO RECEIVE (1) PRIME COAT AND (2) FINISH COATS OF PAINT. PREPARE SURFACES AS RECOMMENDED BY MANUFACTURER. PAINTED SURFACE FINISHES AS FOLLOWS:

- TRIM WORK / DOOR FRAMES - SEMI-GLOSS ENAMEL
- WALLS - EGGSHELL
- BATHROOM WALLS - SEMI-GLOSS, MILDEW RESISTANT
- CEILINGS - FLAT WHITE, LIGHT SAND FINISH (BATHROOMS TO BE MILDEW RESISTANT).

FURNISHINGS

SIGNAGE / ACCESSORIES

NEW INTERIOR ROOM IDENTIFICATION, ADA-COMPLIANT SIGNAGE SHALL BE FURNISHED AND INSTALLED ON WALL IMMEDIATELY ADJACENT TO STRIKE JAMB AT THE FOLLOWING LOCATIONS:

TOILET ROOMS
MECHANICAL / ELECTRICAL / IT / JANITOR ROOMS
IT ROOM

CONTRACTOR SHALL POST OCCUPANT LOADING FOR NEW BUILDING IN THE VESTIBULE INDICATING THAT THE PEOPLE LOADING SHALL NOT EXCEED ____ PEOPLE AS APPROVED PER AHJ. CONTRACTOR SHALL COORDINATE WITH AHJ FOR ACTUAL OCCUPANT LOAD COUNT TO BE PLACED ON THIS SIGNAGE.

EXISTING SITE PYLON-MOUNTED SIGNAGE BOARD TO REMAIN; REFER TO PLAN SHEET C-1 FOR LOCATION. OWNER WILL CHANGE EXISTING SIGNAGE TEXT AS APPLICABLE.. OWNER SHALL COORDINATE DIRECTLY WITH CITY OF BRISTOL PRIOR TO MAKING ANY SIGNAGE CHANGES, AND IF ACCESS WILL BE REQUIRED FROM WITHIN EXISTING ROAD RIGHT-OF-WAY.

TOILET ACCESSORIES:

REFERENCE "TOILET FIXTURE AND ACCESSORY MOUNTING SCHEDULE" AS SHOWN IN PLANS TO COORDINATE MOUNTING HEIGHTS IN COMPLIANCE WITH ADA REGULATIONS.

CONTRACTOR TO PROVIDE FOR OWNER'S REVIEW AND APPROVAL TOILET ACCESSORIES SHOP SUBMITTALS.

Revision					
Date	03.23.24	GSS REVIEW SET	05.17.24	PERMIT & BID SET	
As					
MOUNT RODGERS PLACE BRISTOL, VIRGINIA 180 Bristol East Road - Bristol, Virginia 24201					
GENERAL PROJECT NOTES					
Date	03.23.24	Scale	AS INDICATED	Drawn By	Checked By
Project Number		Sheet		T-1	

FIRE EXTINGUISHERS:

FIRE EXTINGUISHERS: CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL WALL-MOUNTED FIRE EXTINGUISHER CABINETS AND FIRE EXTINGUISHERS. WOOD BLOCKING AS NECESSARY, AS SHOWN ON THE PLANS AND NOT LESS THAN THAT AS MAY BE REQUIRED AS OTHERWISE DIRECTED BY AHI. FINAL QUANTITIES AND LOCATIONS SHALL BE AS REVIEWED AND APPROVED BY AHI. CABINETS AND FIRE EXTINGUISHERS PROVIDED BY OWNER.

APPLIANCES:

OWNER WILL BE RESPONSIBLE TO FURNISH AND INSTALL ALL APPLIANCES AS SHOWN ON PLAN SHEET. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR SAME ALL ROUGH-IN BLOCKING, ELECTRICAL, PLUMBING AND HVAC, AS APPLICABLE, FOR ALL APPLIANCES READY FOR OWNER. OWNER RESPONSIBLE FOR ALL APPLIANCE INSTALLATION, TESTING AND FINAL CONNECTIONS READY FOR OPERATION.

EQUIPMENT:

OWNER- AND CONTRACTOR-FURNISHED EQUIPMENT:

CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER AND MANUFACTURER, AS NECESSARY, AND PROVIDE ALL WOOD BLOCKING IN WALLS FOR SAID EQUIPMENT AS REQUIRED. EQUIPMENT AND LOCATIONS SHOWN ON PLAN SHEETS. COORDINATE DIRECTLY WITH OWNER WITH RECOMMENDED DETAILS AND INSTALLATION RECOMMENDATIONS.

IT / DATA / PHONE / SECURITY FURNISHED BY OWNER:

CONTRACTOR SHALL PROVIDE PLYWOOD ON WALLS, WOOD BLOCKING IN WALLS FOR IT-DATA-PHONE-SECURITY EQUIPMENT LOCATIONS AS SHOWN ON PLAN SHEETS. COORDINATE DIRECTLY WITH OWNER AND IT-DATA-PHONE-SECURITY VENDORS WITH RECOMMENDED DETAILS AND INSTALLATION RECOMMENDATIONS.

PROVIDE 4' x 8' x 3/4" FIRE-RETARDANT PLYWOOD PANELS ON WALLS AS SHOWN ON PLAN SHEETS; BOTTOM OF PLYWOOD MOUNTED AT 6" ABOVE FINISH FLOOR. PAINT PLYWOOD TO MATCH WALL COLOR PRIOR TO EQUIPMENT MOUNTING.

OWNER SHALL BE RESPONSIBLE FOR ALL IT-DATA-PHONE-SECURITY WIRING, WALL PLATES AND PROVIDE ALL FINAL CONNECTIONS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE BOX IN WALL, CONDUIT WITHIN WALL FROM BOX TO JUST ABOVE FINISHED CEILING, AND PROVIDE STRING AND RING FOR WIRE PULL BY OTHERS.

MECHANICAL - ELECTRICAL - IT - PLUMBING - FIRE SPRINKLER

MECHANICAL - ELECTRICAL - PLUMBING PLANS AND SPECIFICATIONS HAVE BEEN PROVIDED AS PART OF THIS PLAN SET. REFERENCE APPLICABLE MECHANICAL - ELECTRICAL - PLUMBING DESIGNED PLANS AND SPECIFICATIONS AS ATTACHED HERETO.

ALL EXTERIOR WALL PENETRATIONS SHOWN ON ELEVATIONS ARE SCHEMATIC AT BETS; COORDINATE WITH MECHANICAL AND ELECTRICAL PLANS FOR LOCATIONS, SIZES AND QUANTITIES

OTHER SITEWORK & UTILITY NOTES

EARTHWORK:

CONTRACTOR TO SLOPE FINISH GRADE AWAY FROM BUILDING TO ACHIEVE POSITIVE DRAINAGE AT ALL AREAS IMMEDIATELY ADJACENT TO BUILDING. ALL DISTURBED AREAS SHALL BE GRADED TO MAINTAIN POSITIVE DRAINAGE TO ALL DRAINAGE STRUCTURES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE SITE DRAINAGE AT ALL TIMES THROUGHOUT CONSTRUCTION.

ALL UNPAVED AND UN-GRAVELED AREAS DISTURBED BY EXCAVATION SHALL BE SEEDED WITH A PERMANENT SEED PRODUCT MIXTURE PRIOR TO LEAVING PROJECT SITE.

HARDSCAPE AND PAVEMENT:

CONTRACTOR TO PROVIDE ACCESSIBLE WALKWAY(S) AS SHOWN ON SITE PLAN WITH MINIMUM SLOPE 1:20 FROM DESIGNATED ACCESSIBLE PARKING SPACES TO NEW BUILDING.

PAVEMENT PATCHING SHALL MATCH EXISTING PAVEMENT SECTION. U.N.O. CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY PREPARE SUBGRADE AND ASPHALT PAVEMENT BASE COURSE(S) AS NEEDED TO MINIMIZE OR MITIGATE ANY SETTLEMENT OF CUT AND BACKFILLED PAVED AREAS.

CONTRACTOR SHALL INCLUDE PROVISIONS, AS NEEDED, FOR ADJUSTING EXISTING VALVE BOX OR MANHOLE CASTINGS (SEWER, POWER, TELEPHONE, DRAINAGE) TO MATCH FINAL FINISH GRADE OF PAVEMENT, LAWN AREAS, OR SIDEWALKS.

PRIOR TO FINAL DEPARTURE FROM THE SITE, CONTRACTOR SHALL PROVIDE THOROUGH WASHING OF ALL PAVED AND CONCRETE AREAS. PATCH DEPRESSED AND/OR OTHER AREAS IN THE PAVEMENT AS MAY HAVE BEEN DAMAGED IN THE COURSE OF THE CONSTRUCTION.

UTILITIES:

GENERAL:

WATER AND SANITARY SEWERAGE SERVICES SHALL BE CONSTRUCTED BY GENERAL CONTRACTOR TO BUILDING AND ACCEPTED BY REGULATING AGENCY(S) PRIOR TO TURNOVER OF BUILDING TO OWNER. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL REQUIREMENTS AND INSPECTIONS BY SUCH DEPARTMENT(S).

MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SEWER AND WATER LINES. WATER SERVICE SHALL BE INSTALLED ABOVE SANITARY SEWERAGE SERVICE.

- IN CASE OF CONFLICT OR SUCH SEPARATION CANNOT BE OBTAINED, CONTACT OWNER TO COORDINATE INSTALLATION.
- IN CASES WHERE SEWERAGE SERVICE MUST BE INSTALLED ABOVE WATER SERVICE, SEPARATION MUST BE ACHIEVED WITH ENCASEMENT.

DETECTABLE TAPE / MAGNETIC MARKING TAPE, PROTECTED BY A PLASTIC JACKET, WITH THE WORDS "SEWER [WATER] LINE BELOW" IMPRINTED UPON IT SHALL BE INSTALLED CONTINUOUSLY AND DIRECTLY OVER THE SEWER [WATER] LINE, AND APPROXIMATELY 18 INCHES ABOVE THE TOP OF THE SEWER [WATER] LINE.

ALL UTILITY EXCAVATIONS WHEN UNDER EXISTING AND NEW PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED STRUCTURAL FILL.

GENERAL CONTRACTOR SHALL PROVIDE NOT LESS THAN A 24-HR NOTICE FOR ALL ON-SITE INSPECTIONS AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND CONTACTING OF ALL APPROPRIATE ATTENDEES FOR SUCH INSPECTIONS.

TRENCHING AND BEDDING:

- WHERE THE TRENCH BOTTOM IS IN ROCK, IT SHALL BE EXCAVATED TO A MINIMUM OF 8" BELOW THE BOTTOM OF THE PIPE AND BACKFILLED WITH BEDDING MATERIAL.
- WHERE PIPE FOUNDATIONS ARE YIELDING, PIPE SHALL BE BEDDED ON A MINIMUM OF 8" BEDDING MATERIAL.
- FOR PIPE LESS THAN 12", THE TRENCH WIDTH MAY BE 36" MAXIMUM.

PROJECT COMPLETION:

UPON COMPLETION, GENERAL CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION FROM LOCAL UTILITY PROVIDER ACCEPTING CONNECTED WORK INTO THEIR PUBLIC UTILITY SYSTEM. CONTRACTOR RESPONSIBLE FOR ALL SUCH CONSTRUCTION AND INSPECTIONS COORDINATION AS MAY BE REQUIRED BY UTILITY PROVIDER.

GENERAL CONTRACTOR SHALL PROVIDE TO OWNER UPON COMPLETION A ONE-YEAR WARRANTY ON ALL INSTALLED SEWER [WATER] LINES, STRUCTURES, TAPS AND CONNECTIONS, WARRANTY COMMENCING EFFECTIVE UPON DATE OF THE PROJECT'S SUBSTANTIAL COMPLETION.

GENERAL CONTRACTOR SHALL SUBMIT AS-BUILT PLANS TO OWNER UPON COMPLETION OF THE PROJECT. THESE PLANS SHALL RECORD THE LOCATION OF ALL STRUCTURES, VALVES, SERVICE CONNECTIONS, AND OTHER APPURTENANCES.

SEWER LINE:

IN ABSENCE OF SPECIFICATIONS, CODE PROVISIONS OR IN AMPLIFICATION THEREOF, THE MATERIALS AND PROCEDURES SET FORTH IN APPROPRIATE SPECIFICATIONS OF ASTM SHALL APPLY. IN ALL OTHER CASES, AT A MINIMUM, GENERAL CONTRACTOR SHALL EXECUTE ALL WORK IN ACCORDANCE WITH INDUSTRY STANDARDS AND GOOD PRACTICES FOR ALL INSTALLATIONS.

COMMENCE LAYING GRAVITY SEWERS AT THE LOWEST POINT ON A SECTION OF LINE AND LAY PIPE WITH THE BELL-ENDS UP HILL.

MINIMUM PIPE COVER FOR SANITARY SEWER LINES SHALL BE 2'-6" UNLESS OTHERWISE INDICATED.

WATER LINE:

IN ABSENCE OF SPECIFICATIONS, CONTRACTOR SHALL EXECUTE ALL WORK IN ACCORDANCE WITH AMERICAN WATERWORKS ASSOCIATION STANDARD, OTHER SUCH INDUSTRY STANDARDS, AND GENERAL GOOD PRACTICES FOR ALL INSTALLATIONS.

MINIMUM PIPE COVER FOR WATER LINES SHALL BE 3'-0" UNLESS OTHERWISE INDICATED.

WHERE WATER LINES CROSS OVER OR UNDER STORM DRAINS, A MINIMUM SEPARATION OF 1'-0" SHALL BE MAINTAINED.

TESTING:

THIS WATER LINE SHALL BE THOROUGHLY DISINFECTED AND TESTED (PRESSURE, LEAK, AND BACTERIOLOGICAL) TO MEET OR EXCEED THE CRITERIA CONTAINED IN ACCORDANCE WITH VDH AND CITY OF BRISTOL-VA STANDARDS PRIOR TO BEING ACCEPTED AND PLACED IN SERVICE.

TESTING OF WATER LINE SHALL INCLUDE LINES TO THE METER BOX AND UP TO METER STOP VALVE.

PLANTING:

THESE NOTES SPECIFY THE PREPARATION OF PLANTING AREAS, FOR PLANTING BY OWNER AT A LATER DATE.

MULCHING AND PLANTS: FURNISHED AND INSTALLED BY OWNER.

GROUND COVER BEDS:

ALL AREAS WITHIN THE LIMITS OF THE GROUND COVER BEDS SHALL RECEIVE 12 INCHES OF TOPSOIL; TOPSOIL FURNISHED OWNER. COORDINATE THE INSTALLATION OF TOPSOIL TO IN ACCORDANCE WITH FINAL GRADES ARE SHOWN.

THE FINISHED BEDS SHALL BE SLIGHTLY RAISED (4 INCHES) ABOVE THE SURROUNDING GROUND AFTER THE AMENDMENTS HAVE BEEN "TILLED IN."

TILL ENTIRE PLANTING AREAS TO A MINIMUM DEPTH OF 6 INCHES UNTIL ALL INGREDIENTS ARE THOROUGHLY MIXED. RAKE THE ENTIRE AREA TO A SMOOTH EVEN SURFACE, FREE OF TWIGS AND STONES.

PROJECT CONTACT INFORMATION

OWNER

BRIAN BECK, CEO
APPALACHIAN AGENCY FOR SENIOR CITIZENS
216 COLLEGE RIDGE ROAD
PO BOX 765
CEDAR BLUFF, VIRGINIA 24609
(276) 964-4915 O
BBECK@AASC.ORG

JACKIE RAY, OWNER'S ON-SITE REPRESENTATIVE
APPALACHIAN AGENCY FOR SENIOR CITIZENS
216 COLLEGE RIDGE ROAD
PO BOX 765
CEDAR BLUFF, VIRGINIA 24609
(276) 210-2517
JRAY@AASC.ORG

GENERAL CONTRACTOR

GENERAL CONTRACTOR
(TO BE DETERMINED)

LOCAL CONTACTS

BRISTOL, VIRGINIA – ENGINEERING CITY ENGINEER
GRAYSON TOLER / 276-645-7247 / GRAYSON.TOLER@BRISTOLVA.ORG

BRISTOL, VIRGINIA – PLANNING & ZONING
JAY DETRICK / 276-645-3784 / JDETRICK@BRISTOLVA.ORG

BRISTOL, VIRGINIA – BUILDING OFFICIAL
MICHAEL JOHNSTON / 276-821-6091 / MUHNSTON@BRISTOLVA.ORG

BRISTOL, VIRGINIA – FIRE MARSHAL
ERIC BLEVINS / 276-645-3742 / FIREMARSHAL@BRISTOLVA.ORG

BRISTOL VIRGINIA UTILITIES: WATER & SEWER
WILL WITCHER / 276-821-6207 / WRWITCHER@BVUA.COM

BRISTOL VIRGINIA UTILITIES: ELECTRIC
RICHARD ALLEN / 276-645-8730 / RADKINS@BVUA.COM

ATMOS ENERGY – NATURAL GAS
ISAIAH GREER / 423-202-1455 / ISAIAH.GREER@ATMOSENERGY.COM

DESIGN TEAM

SURVEYOR
ADDISON SURVEYORS
HONAKER, ROBERT, SURVEYOR
(276) 451-0473 (C) / COACHHONAKER@GMAIL.COM

ARCHITECT / CIVIL ENGINEER

JOHN S. PONISH, AIA, PE
312 NOTTINGHAM AVE.
WISE, VA 24293
276-870-1593 C
JPONISH@ATSONE.COM

PROJECT DESIGNER

JESSICA DYE
J DYE DESIGNS
ABINGDON, VIRGINIA
276-971-4082 C
JDYEDESIGNS@OUTLOOK.COM

STRUCTURAL ENGINEER

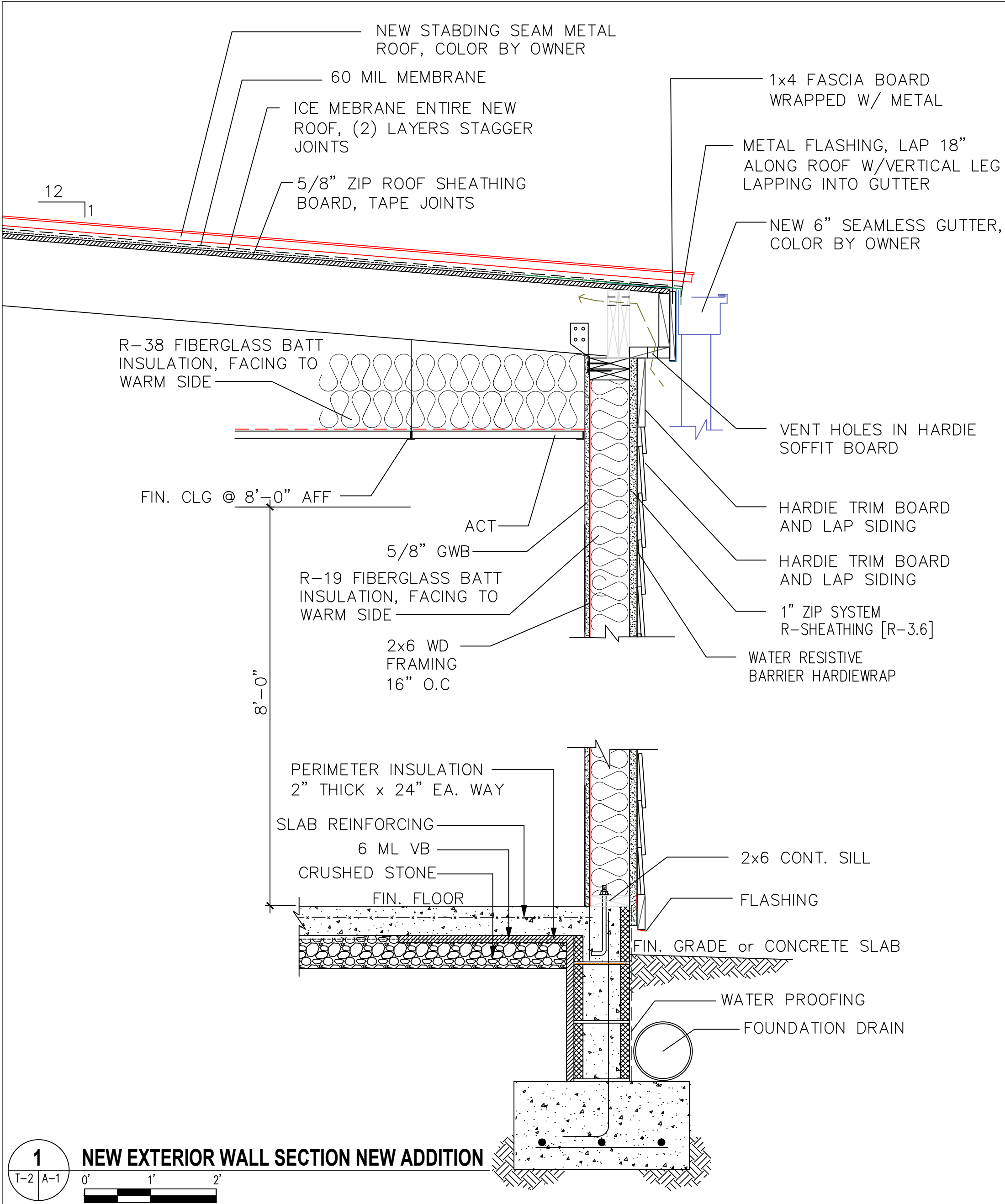
J. L. JACOBS & ASSOCIATES
JOHN JACOBS, PE
511 TUSCULUM BLVD
GREENEVILLE, TN 37745
1 423 787-7828 O
JOHN@LJENGINEERING.COM

MECHANICAL-ELECTRICAL-PLUMBING ENGINEER

S. HOYT WILLIAMS, PE, LLC
S. HOYT WILLIAMS, PE LEED AP
10714 ROCK ARBOR WAY
KNOXVILLE, TENNESSEE 37922
423-914-5001 C
SHWILLIAMSPE@GMAIL.COM

GEO-TECHNICAL ENGINEER / SPECIAL INSPECTOR

ERIC C. HESS, PE
LIGHTHOUSE ENGINEERING CONSULTANTS, LLC
PO BOX 282
POUNDING MILL, VIRGINIA 24637
423 502-0673 C
ERIC@LIGHTHOUSEENGINEERINGCONSULTANTS.COM



Project Number		Date 03.29.24	MOUNT RODGERS PLACE BRISTOL, VIRGINIA 180 Bristol East Road - Bristol, Virginia 24201	Revision		
Scale AS INDICATED		No.			Date	
Designed by						
Drawn by						
Checked By						
Sheet						
T-2						
GENERAL PROJECT NOTES						

GENERAL EXISTING SITE PLAN NOTES

1. REFER TO PLAN SHEET C-1 FOR ALL NEW SITE WORK CONSTRUCTION. REFER TO PLAN SHEET A-0 FOR EXISTING BUILDING PLAN / DEMOLITION WORK AND PLAN SHEET A-1 FOR PROPOSED BUILDING PLAN IMPROVEMENTS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING STORM DRAINAGE PIPING; SEVERAL, BUT NOT ALL, ARE SHOWN ON THE PLAN AS HAVING BEEN FOUND. ALL SUCH PIPING SHALL BE CLEANED OUT, FLUSHED AND VERIFIED SOURCE OF OUTFALL FOUND; CONTRACTOR SHALL REVIEW CONDITIONS WITH OWNER AND CONFIRM ACCEPTABILITY OF EXISTING SYSTEMS TO BE RE-UTILIZED AND MADE OPERATIONAL AS PART OF THIS WORK PRIOR TO CONNECTING ANY NEW STORM DRAINAGE PIPING TO SAID EXISTING BELOW GRADE STORM DRAINAGE PIPING.
3. EXISTING SANITARY SEWER, STORM SEWER AND WATER SERVICES APPROXIMATE LOCATIONS INDICATED ON PLAN. NO SURVEY HAS BEEN COMPLETED OR OTHER BURIED UTILITIES CONFIRMED.
 - 3.1. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND CONTACT MISS UTILITY PRIOR TO ANY EXCAVATIONS ON SITE.
 - 3.2. ALL SUCH PIPING SHALL BE CLEANED OUT AND FLUSHED; CONTRACTOR SHALL REVIEW CONDITIONS WITH OWNER AND CONFIRM ACCEPTABILITY OF EXISTING SANITARY SEWER SYSTEMS TO BE RE-UTILIZED AND MADE OPERATIONAL AS PART OF THIS WORK PRIOR TO CONNECTING ANY NEW SANITARY SEWER DRAINAGE PIPING TO SAID EXISTING BELOW GRADE SANITARY SEWER DRAINAGE PIPING.
4. CONTRACTOR SHALL TRIM ALL TREES ALONG CREEK FENCE LINE.
5. ABANDON EX. 3/4" WATER LINE. REFER TO PLAN SHEETS C-1 & P-2 FOR NEW WATER SERVICE INTO BUILDING.
6. EROSION & SEDIMENT CONTROL:
 - 6.1. EROSION & SEDIMENT CONTROL PLAN HAS BEEN DEVELOPED FOR THIS PROJECT; REFER TO PLAN SHEETS ES-1 & ES-2 AND THE APPROVED ESC PLAN AS ISSUED BY CITY OF BRISTOL-VA.
 - 6.2. CONTRACTOR RESPONSIBLE TO IMPLEMENT NOT LESS THAN MINIMUM STANDARDS AND E/S STRUCTURES SPECIFIED HEREIN AND LEAVE IN PLACE AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL ALL FINAL HARDSCAPE SURFACES ARE INSTALLED AND ALL ROOF DRAINAGE CONNECTIONS MADE AND ARE FUNCTIONING.
 - 6.3. CONTRACTOR SHALL INCLUDE PROVISIONS IN HIS BID TO PROVIDE AND MAINTAIN EROSION & SEDIMENT CONTROL AT THE SITE IN ACCORDANCE WITH CITY OF BRISTOL-VA MINIMUM STANDARDS.
- 7.

REMOVE ALL EXISTING CONCRETE THIS AREA BEHIND BUILDING AND REPLACE WITH CONCRETE PAVEMENT SECTION-C. REFER TO STRUCTURAL PLANS FOR TURNDOWN EDGE ALONG RIVER EDGE.

EX. EDGE OF CONCRETE
EX. ENTIRE CH. LINK FENCE TO BE REMOVED
EX. TREES TO REMAIN. TRIM AT DIRECTION OF OWNER

REMOVE ALL EXISTING PAVEMENT AND SUB BASE. REPLACE WITH NEW PAVEMENT SECTION-B. REFER TO PROPOSED SITE PLAN FOR ADDITIONAL COORDINATION.

LIMITS OF WORK

APPROXIMATE LIMITS OF NEW GRADING WORK WITHIN PARKING AREA. REMOVE ALL EXISTING PAVEMENT AND SUB BASE; REWORK GRADES AS NOTED AND REPLACE WITH NEW PAVEMENT SECTIONS: A OR B AS DESIGNATED. REFER TO PROPOSED SITE PLAN FOR ADDITIONAL COORDINATION.

APPROX. LOCATION EX. NATURAL GAS LINE(FIELD VERIFY)
OUTLINE OF PROPOSED NEW BUILDING AND CONCRETE RAMP / PATIO. SEE PROPOSED WORK
EX. SANITARY SEWER C.O.
EX. 4" STORM SEWER DRAIN OUTFALL INTO CREEK
EX. STORM SEWER DRAIN

EX. STORM SEWER DRAIN
EX. SANITARY SEWER C.O.
EX. 4" STORM SEWER DRAIN OUTFALL INTO CREEK
EX. 8" STORM SEWER DRAIN OUTFALL INTO CREEK

APPROX. LOCATIONS EX. SANITARY & WATER TO NEW OFFICE TRAILER
EX. BOLLARD TO REMAIN PAINT YELLOW
EX. GUY WIRE TO REMAIN
EX. UTILITY POLE TO REMAIN - INCOMING ELECTRIC SERVICE. CT CABINETS AND PANELS ON BLDG WALL

EX. STORM DRAIN TO REMAIN. CONTRACTOR SHALL CLEAN OUT AND CONFIRM WORKING DISCHARGE
EX. STORM DRAIN TO REMAIN. CONTRACTOR SHALL CLEAN OUT AND CONNECT PER PROPOSED NEW WORK

EXISTING BUILDING
1-STORY
6,880 SF
SITE 0.68 ACRES [29,621 SF]
ZONING B-3 INTERMEDIATE BUSINESS
FINISH FLOOR 1800.33

EX. CONC. WALK TO BE REMOVED FULL LENGTH

EX. ASPHALT PARKING

EX. LANDSCAPING TO REMAIN (NIC)

EX. 6" CONC. CURB

EX. CONC. WALK TO BE REMOVED FULL LENGTH

EX. STL. BOLLARD TO BE REMOVED
EX. CONC. PAD/STEPS TO BE REMOVED

EX. EDGE OF ASPHALT
EX. ENTIRE CH. LINK FENCE TO BE REMOVED
EX. TREES TO REMAIN. TRIM AT DIRECTION OF OWNER

EX. ASPHALT PARKING

EX. UTILITY POLE TO REMAIN. REWORK GUY WIRE WITH NEW CONSTRUCTION; OWNER TO COORDINATE WITH UTILITY PROVIDER. REMOVE O/H WIRE TO BUILDING.

EX. O/H TELEPHONE WIRE TO REMAIN - SEE PROPOSED NEW WORK

EX. ASPHALT CURB

EX. TREE TO REMAIN

REMOVE EX. LANDSCAPING. SEE NEW WORK THIS AREA.

EX. TREE TO BE REMOVED

EX. "NO OUTLET" SIGN TO REMAIN

EX. TREE TO BE REMOVED

EX. WD FENCE TO REMAIN (NIC)

EX. SIGN AND BASE TO REMAIN (NIC)

EX. SIGN AND BASE TO REMAIN (NIC)

PERKINS RESTAURANT PROPERTY

NORTH

1 EXISTING SITE PLAN
C-0 C-0
0' 5' 10' 20'

Revision

No.	Date	95% REVIEW SET	PERMIT & BID SET
	03.23.24		
	05.17.24		

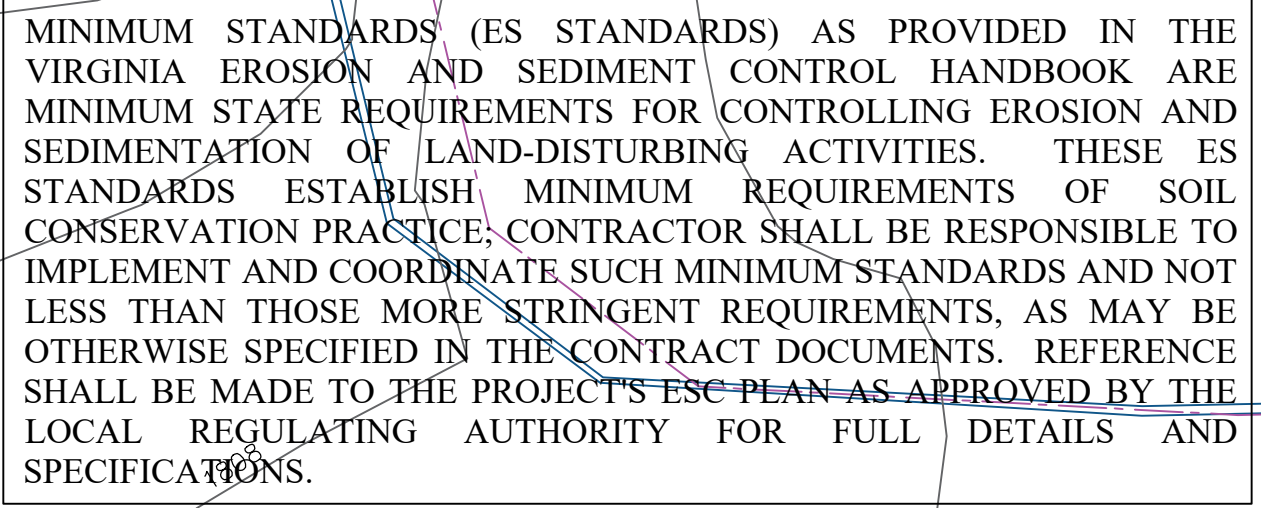
MOUNT RODGERS PLACE
BRISTOL, VIRGINIA
180 Bristol East Road - Bristol, Virginia 24201

EXISTING SITE PLAN

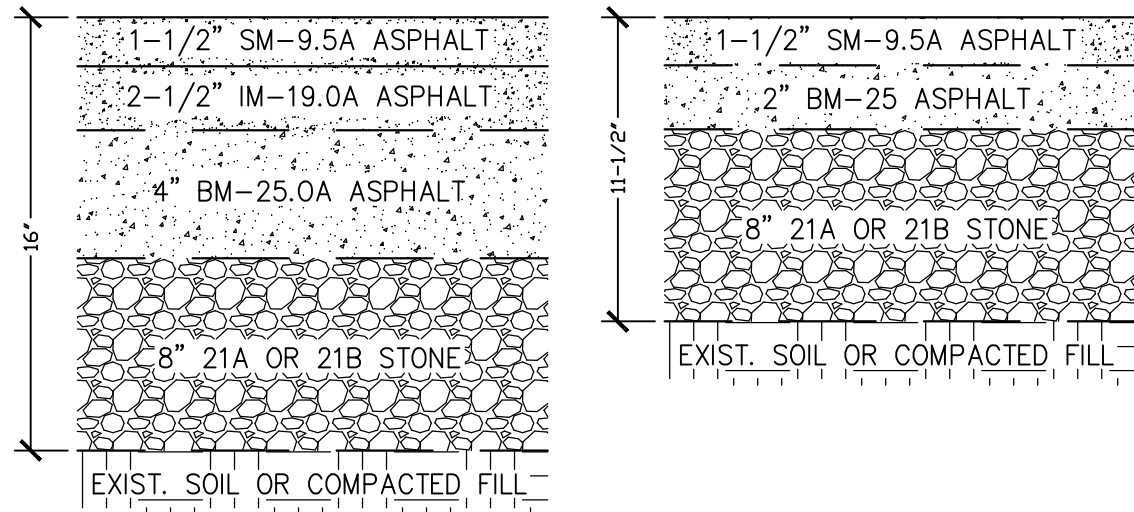
Date	Scale	AS INDICATED	Designed By	Drawn By	Checked By
03.23.24					
Project Number					

C-0

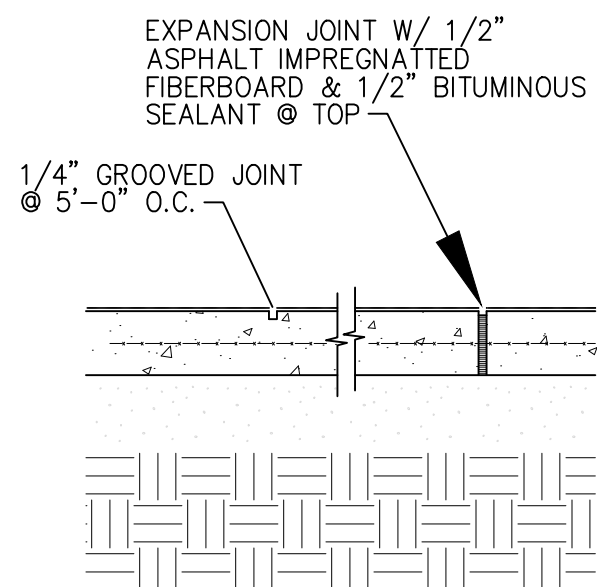
1. REFER TO PLAN SHEET C-0 FOR ADDITIONAL SITE DEMOLITION AND NEW SITE CONSTRUCTION NOTES.
2. ASPHALT PAVEMENT WORK:
 - 2.1. ALL EXISTING SURFACE ASPHALT PAVEMENT TO BE REMOVED
 - 2.2. AT AREAS NOT REQUIRING RE-GRADING, REPLACED WITH NEW 1.5" SM-9.5A ASPHALT SURFACE COURSE (VDOT 211).
 - 2.3. WHERE NEW GRADING WORK OCCURS, ASPHALT PAVEMENT SECTION STONE, BASE ASPHALT AND FINISH ASPHALT SHALL BE REPLACED WITH ASPHALT PAVEMENT SECTIONS B OR C AS DESIGNATED ON THE PLAN.
3. CONTRACTOR SHALL PERFORM A WATER TEST ON FINAL PAVEMENT IN OWNER'S PRESENCE FOR OWNER'S REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY NEW PAVEMENT MARKINGS. FAILED WORKS SHALL BE REWORKED AT CONTRACTOR'S EXPENSE UNTIL ACCEPTED BY OWNER.
4. ALL SPOT ELEVATIONS ARE INTENDED AS FINAL GRADE.
5. CONTRACTOR SHALL MAKE NEW CONNECTIONS TO PUBLIC UTILITY SERVICES AS SHOWN ON THE PLANS; REFER ALSO TO PLUMBING PLANS. APPROXIMATE LOCATIONS ARE SHOWN FOR THE UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL UTILITY LOCATIONS AND COORDINATING ALL WORK WITH LOCAL UTILITY PROVIDERS TO ACHIEVE ACCEPTANCE FOR FINAL CONNECTIONS AND OPERATIONS INTO BUILDING.
6. FILL AREA BETWEEN NEW WALL AND EX. CURB; MULCH AND LANDSCAPE FOR STABILIZATION. FINAL LANDSCAPING SCOPED PER OWNER IN ACCORDANCE WITH BID ALLOWANCE.
7. RAISE EX. TOP OF STORM GRATES TO ELEVATIONS FLUSH WITH NEW PAVEMENT ON NEW SITE WORK. FINAL ADJUST WITH FINAL PAVEMENT TO ENSURE POSITIVE DRAINAGE.
8. CONTRACTOR RESPONSIBLE TO VERIFY THAT ACCEPTABLE SUB-GRADE CONDITIONS EXIST AND WILL REMAIN IN PLACE AND FUNCTIONAL PRIOR TO CONTRACTOR'S INSTALLATION OF NEW FENCING, REDI-ROCK RETAINING WALL NO. 2 AND ALL SPECIFIED NEW CONCRETE AND ASPHALT PAVEMENT WORK ALONG THE EXISTING REAR FENCE LINE ALONG CREEK EDGE.
 - 8.1. CONTRACTOR SHALL REVIEW SUCH FOUND CREEK-EDGE SUB GRADE CONDITIONS WITH OWNER PRIOR TO NEW WORK INSTALLATION.
 - 8.2. SET NEW FENCE POSTS IN TOP CAP OF REDI-ROCK WALL SYSTEM.. REFER TO DETAIL 2 ON PLAN SHEET C-2.
 - 8.3. INSUFFICIENT CONDITIONS SHALL BE REPORTED TO OWNER.
 - 8.4. CONTRACTOR SHALL REMAIN LIABLE FOR ALL SUCH INSTALLED NEW FENCING, REDI-ROCK WALL, CONCRETE AND/OR ASPHALT PAVEMENT WORK PLACED WITHOUT PRIOR REVIEW AND APPROVAL FROM OWNER AND ENGINEER.
9. PROVIDE E/S INLET PROTECTION DEVICE ONCE INSTALLED THROUGH END OF CONSTRUCTION. REFER TO PLAN ES-1.
10. LOCATE EMERGENCY GENERATORS AS FOLLOWS: 54" OFF NEW FENCE LINE, 84" BETWEEN GENERATORS & MAINTAIN MINIMUM 60" CLEAR ACCESS TO HVAC UNITS GATE.
11. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED BURIED UTILITIES (WATER, SANITARY SEWER, STORM SEWER & GAS) BEFORE ANY EXCAVATION ON SITE AND WITHIN BUILDING.
12. EXISTING WATER & SANITARY SEWER LINES FOR OFFICE TRAILER (NIC). OWNER RESPONSIBLE FOR CONNECTING INTO TRAILER AND ALL WATER AND SANITARY SEWER TRIM OUT WORK INSIDE TRAILER.
13. CONTRACTOR TO THE NEW DOWNSPOUTS INTO EXISTING RAIN LEADER PIPING BELOW GRADE DISCHARGING TO CREEK. PROVIDE NEW UNDERGROUND 4" SCH 80 PVC RAIN PIPING SIMILAR DISCHARGE AS NEEDED TO CONNECT ALL NEW RAIN GUTTERS INTO BELOW GROUND DISCHARGE.
14. NEW 24"x24" STORM CATCH BASIN AT DUMPSTER LOCATION W/ 4" SCH 80 PVC DRAIN PIPE (REFER TO DETAIL 5, PLAN C-2.1) DISCHARGING TO CREEK SIMILAR TO EX. STORM DRAINS. PROVIDE PIG-BRAND OR EQUAL CATCH BASIN FILTRATION INSERT SYSTEM MODEL-FLT752 W/ ADJUSTABLE FRAME STORM DRAIN FILTER, MODEL-FLT006 W/ 4-STAGE FILTRATION. UPON AT CLOSEOUT OF PROJECT, ALSO PROVIDE OWNER WITH THREE (3) ADDITIONAL MODEL-FLT006 DRAIN FILTERS.
15. PROVIDE 4" SCH 80 PVC DRAINAGE PIPING FROM NEW DOWNSPOUTS AT MAIN ENTRY CANOPY. TIE INTO NEW 6" STORM LINE



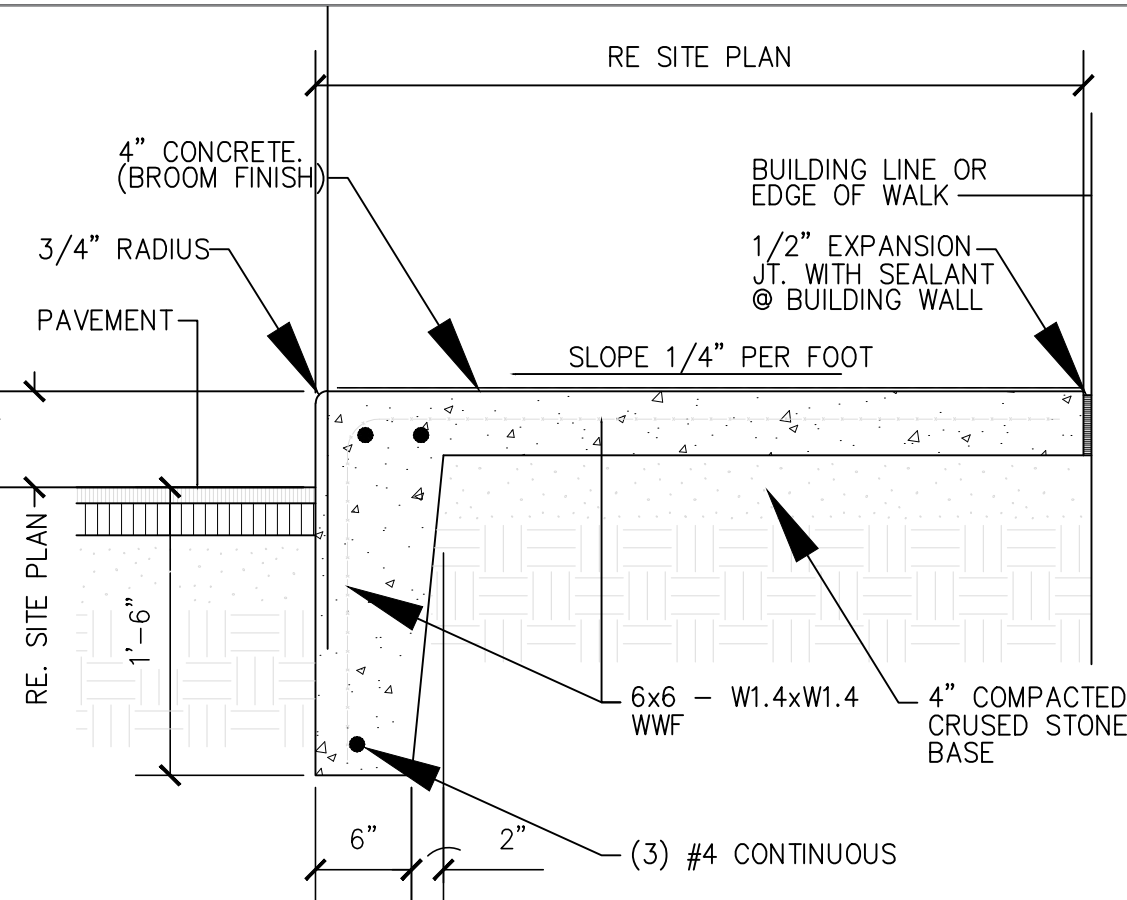
Date 03.29.24		MOUNT RODGERS PLACE BRISTOL, VIRGINIA 180 Bristol East Road - Bristol, Virginia 24201		No.	Date	Revision
Scale						95% REVIEW SET
AS INDICATED					05.17.24	PERMIT & BID SET
Designed By						
Drawn By						
Checked By						
Project Number		C-1		Sheet		
		PREPOSED SITE PLAN				



1 PAVEMENT SECTIONS

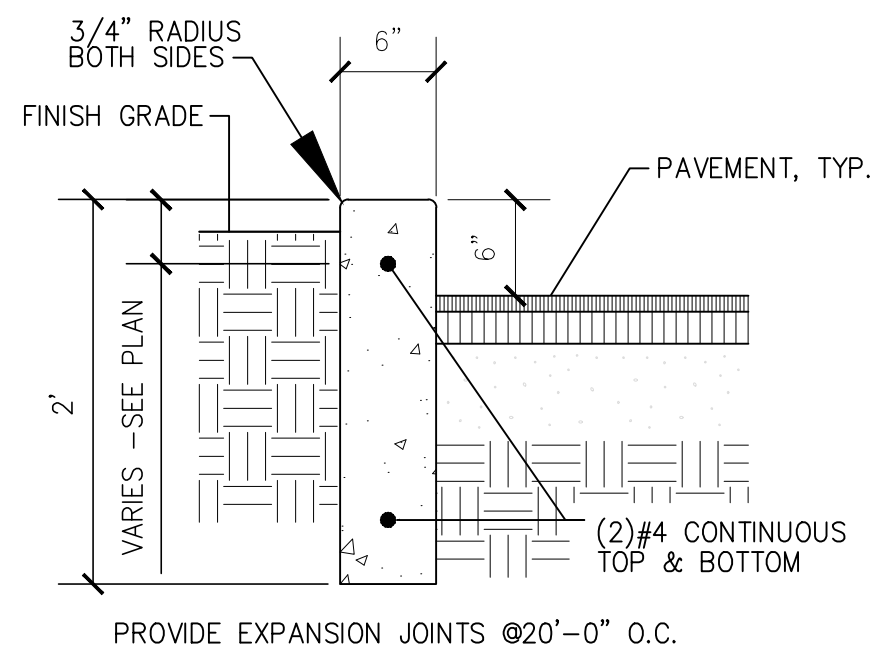


4 CONCRETE SIDEWALK SECTIONS

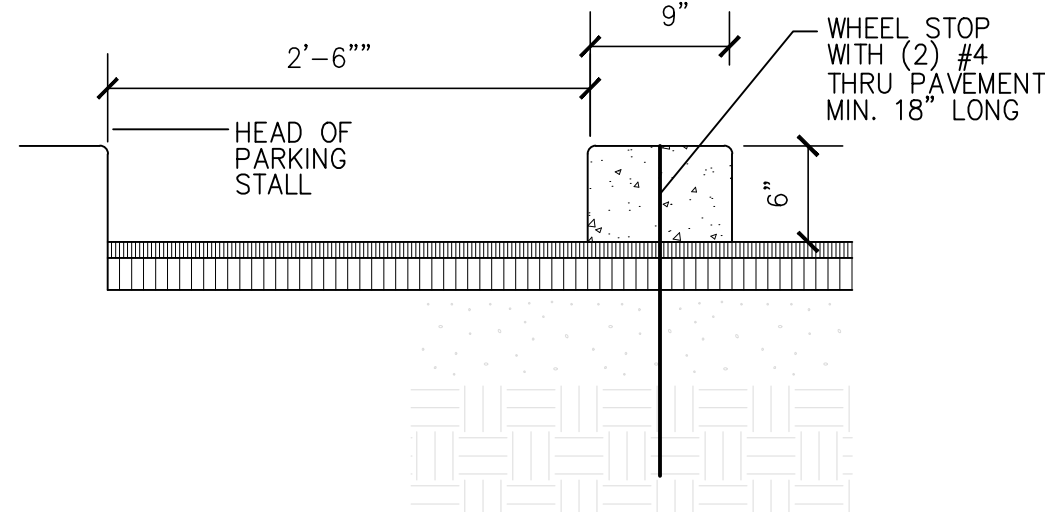
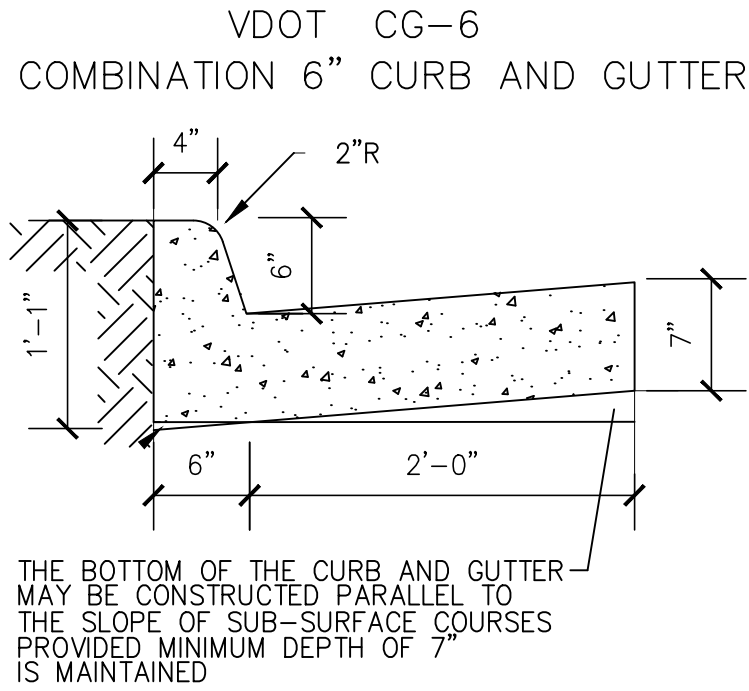


2 REDI-ROCK RETAINING WALL NO. 2 DETAIL @ CREEK EDGE

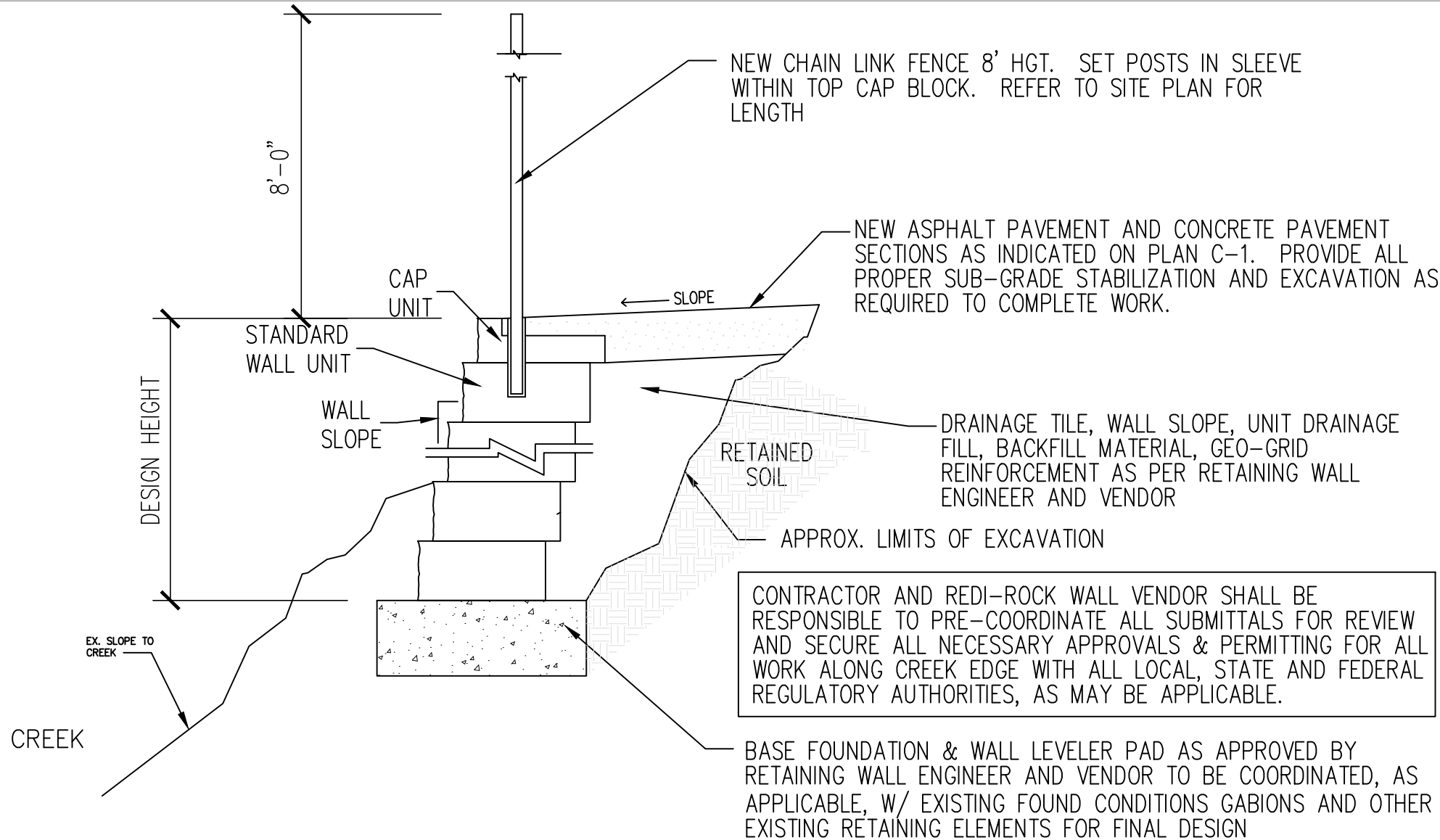
CONTRACTOR SHALL PROVIDE FULL TURNKEY DESIGN-BUILD SERVICES SPECIFIED-ALLOWANCE WITHIN BASE BID LUMP SUM FEE FOR REDI-ROCK RETAINING WALL SYSTEM NO. 2. PROVIDE ENGINEERED-SEALED RETAINING WALL PLANS AND CALCULATIONS FOR OWNER REVIEW AND APPROVAL



5 CONCRETE CURB DETAILS

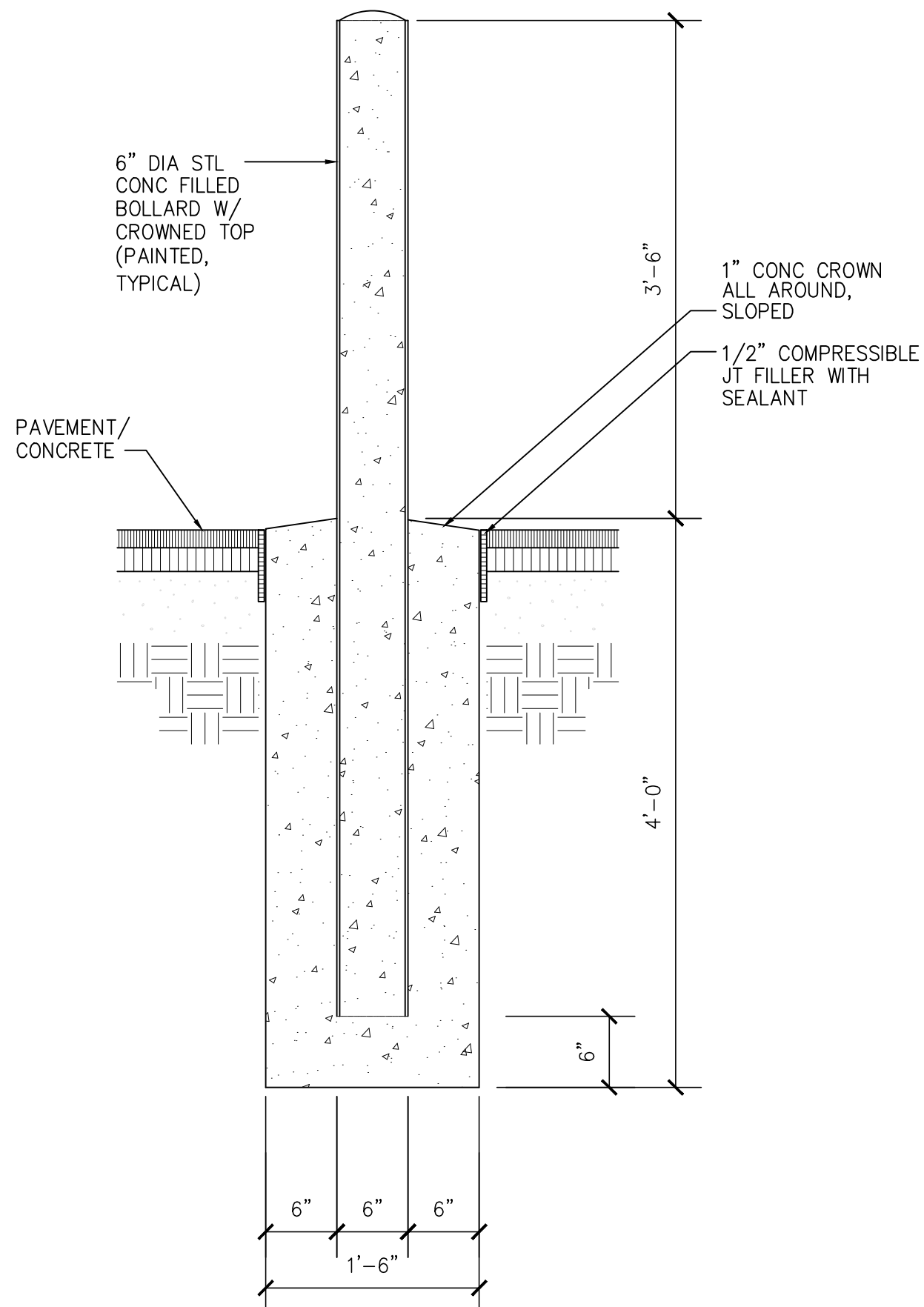


6 PARKING BUMPER DETAIL

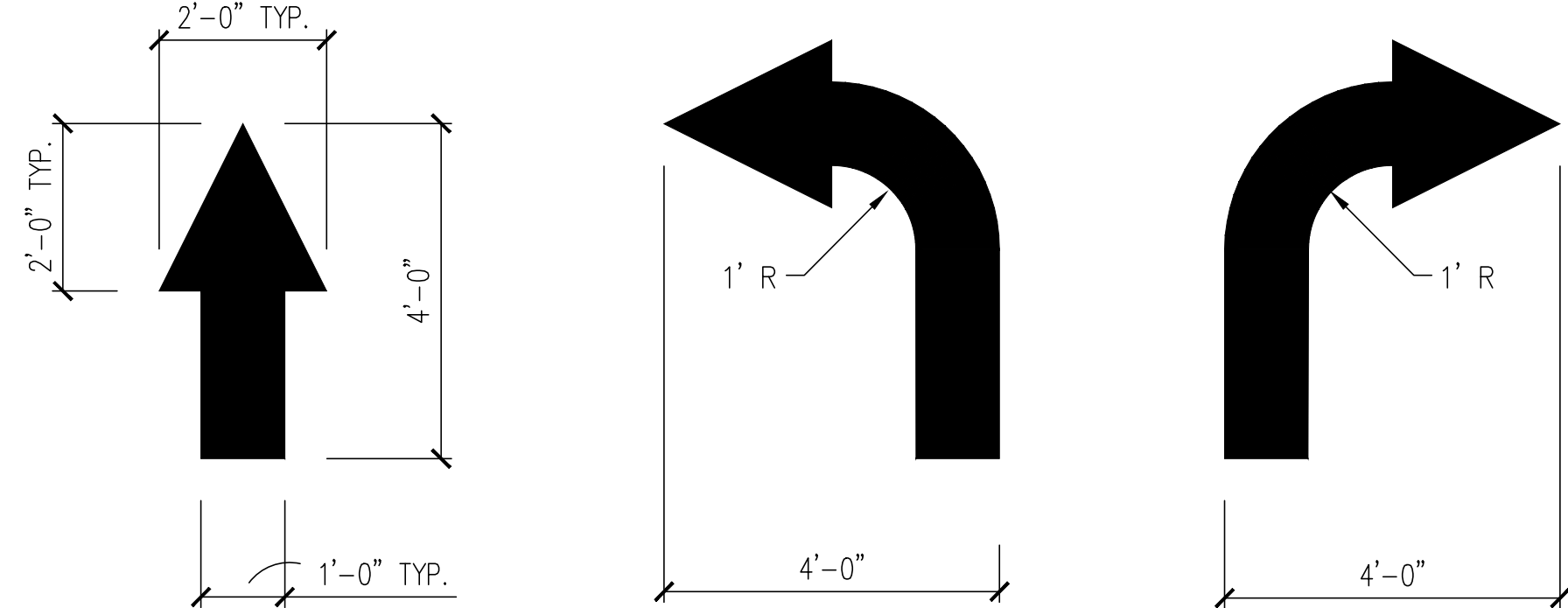


2 REDI-ROCK RETAINING WALL NO. 2 DETAIL @ CREEK EDGE

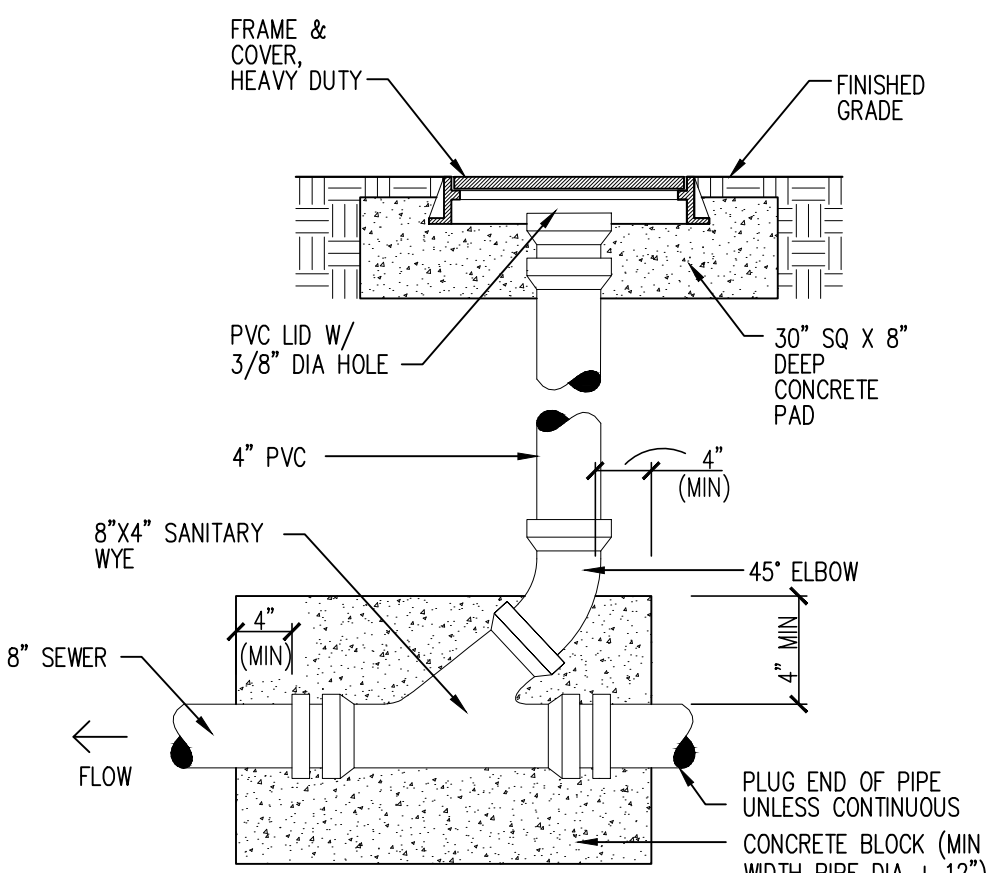
CONTRACTOR SHALL PROVIDE FULL TURNKEY DESIGN-BUILD SERVICES SPECIFIED-ALLOWANCE WITHIN BASE BID LUMP SUM FEE FOR REDI-ROCK RETAINING WALL SYSTEM NO. 2. PROVIDE ENGINEERED-SEALED RETAINING WALL PLANS AND CALCULATIONS FOR OWNER REVIEW AND APPROVAL



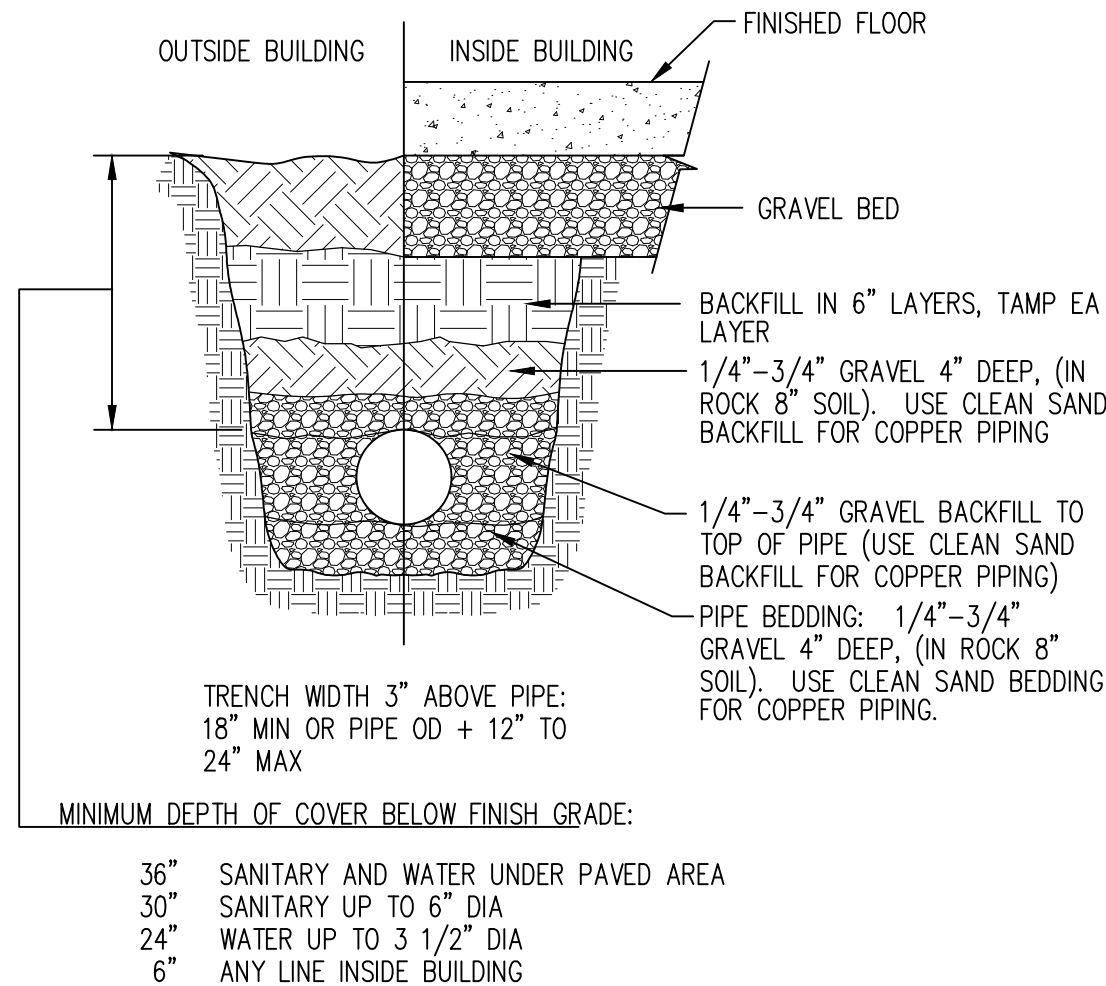
7 BOLLARD DETAIL



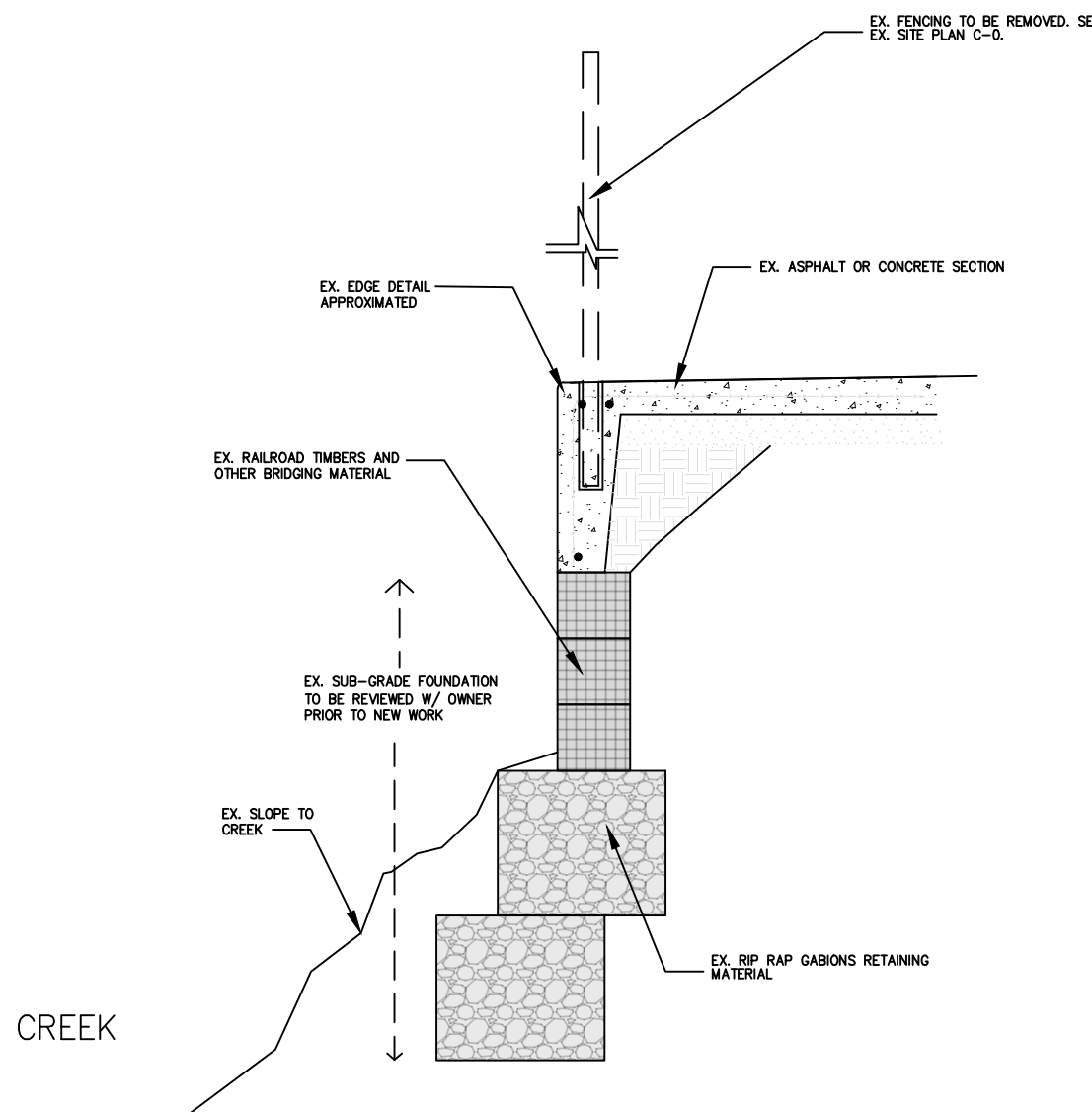
9 PAVEMENT MARKING DETAILS



8 SEWER CLEANOUT DETAIL



9 UTILITY TRENCH DETAIL



3 EXISTING CREEK EDGE PAVEMENT DETAIL

BELOW GRADE CONDITIONS APPROXIMATED - PROVIDED FOR COORDINATION ONLY

GENERAL SITE DETAIL NOTES

- REFER TO PLAN SHEET C-0 FOR EXISTING SITE CONDITIONS AND SITE DEMOLITION. REFER TO PLAN SHEET C-1 FOR PROPOSED SITE WORK.

Revision		Date		By	

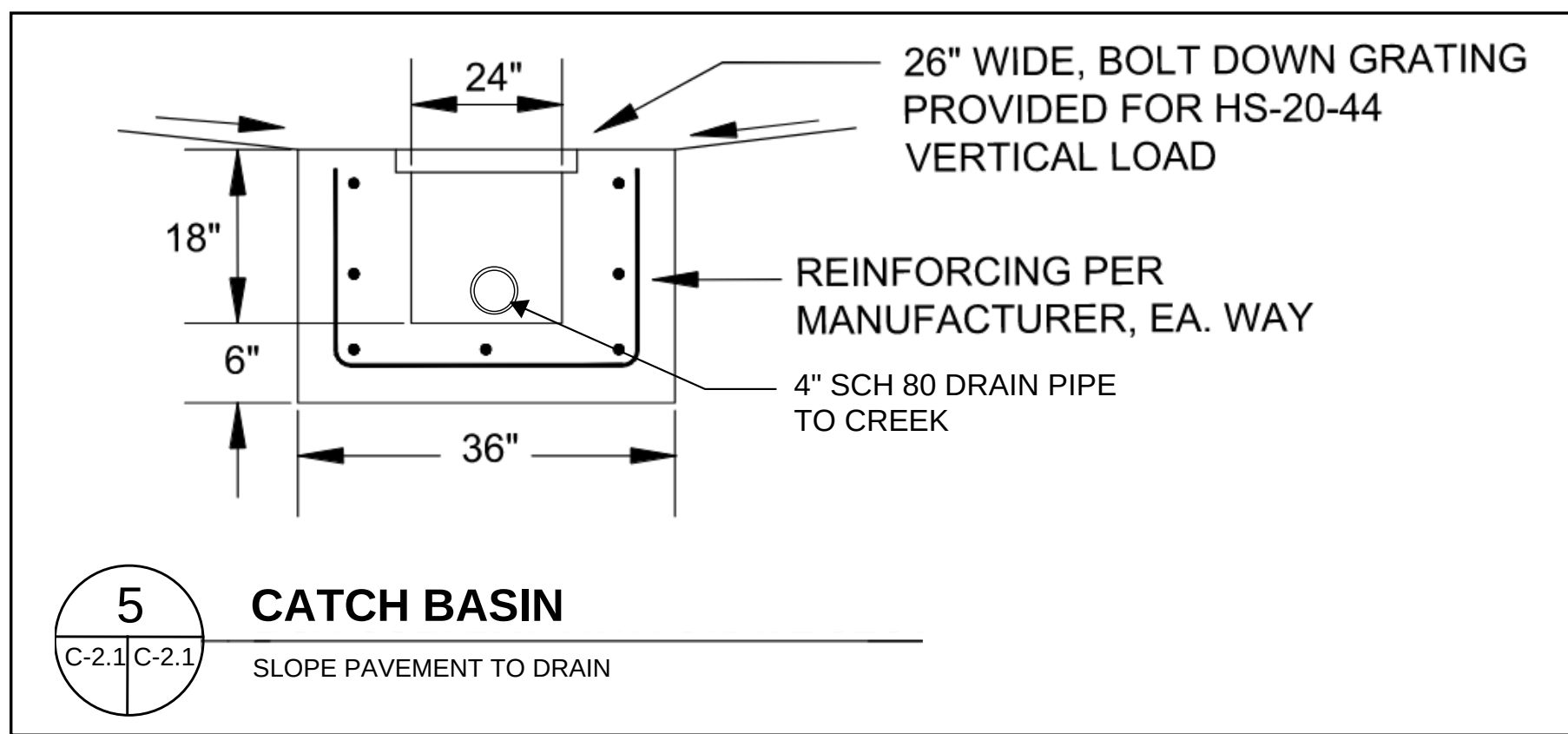
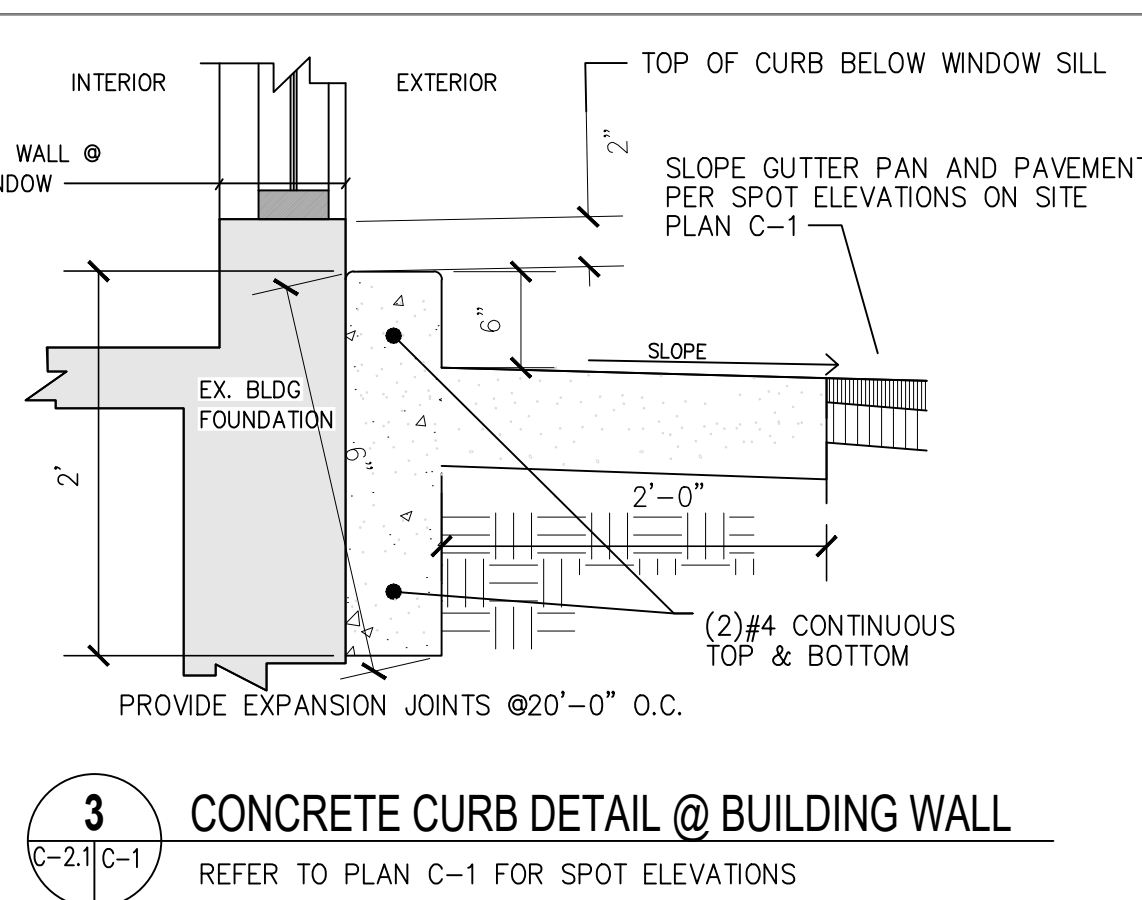
MOUNT RODGERS PLACE
BRISTOL, VIRGINIA
180 Bristol East Road - Bristol, Virginia 24201

SITE DETAILS

Date	Scale	AS INDICATED	Designed By	Drawn By	Checked By
03.29.24					

Project Number

C-2

[illegible]

1. REFER TO PLAN SHEET C-0 & C-1 FOR ADDITIONAL SITE DEMOLITION AND NEW SITE CONSTRUCTION NOTES.
2. ASPHALT PAVEMENT WORK:
 - 2.1. ALL EXISTING SURFACE ASPHALT PAVEMENT TO BE REMOVED
 - 2.2. AT AREAS NOT REQUIRING RE-GRADING, REPLACED WITH NEW 1.5" SM-9.5A ASPHALT SURFACE COURSE (VDOT 211).
 - 2.3. WHERE NEW GRADING WORK OCCURS, ASPHALT PAVEMENT SECTION STONE, BASE ASPHALT AND FINISH ASPHALT SHALL BE REPLACED WITH ASPHALT PAVEMENT SECTIONS B OR C AS DESIGNATED ON THE PLAN.
3. ALL SPOT ELEVATIONS ARE INTENDED AS FINAL GRADE.
4. PROVIDE E/S INLET PROTECTION DEVICE ONCE INSTALLED THROUGH END OF CONSTRUCTION.
5. REFER TO PLAN ES-2 FOR ADDITIONAL EROSION & SEDIMENT CONTROL NOTES AND DETAILS.

PROVIDE PIG-BRAND STORM WATER FILTER SOCK
MODEL-FLT711 OR EQUAL ALONG ENTIRE CREEK EDGE
THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL
RELEASED BY CITY AND ENGINEER FOR REMOVAL.
PROVIDE MAINTENANCE AND/OR REPLACEMENT AS
NEEDED DURING SITE OPERATIONS.

PROPOSED DUMPSTER W/
STORM DRAIN TO CREEK

1797

NEW 8' TALL
ING

E/S INLET
PROTECTION
DEVICE (TYP)

NOTE 4

DISTURBANCE LIMITED TO EXISTING
CONCRETE AND ASPHALT PAVEMENT
HARDSCAPE SURFACES REPLACEMENT

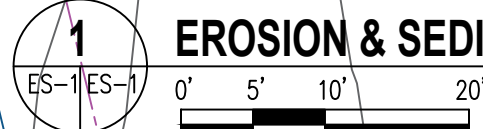
DISTURBANCE TO INCLUDE RE-GRADING, NEW FINISHED LAWN, NEW STONE BASE AND NEW HARDSCAPE CONCRETE AND ASPHALT SURFACES AS SPECIFIED ON PLAN C-1
[1,500 SF EX. GRASS / 9,800 SF EX. HARDSCAPE]

PROPOSED BUILDING
1-STORY
7,495 SF
SITE 0.68 ACRES [29,621 SF]
ZONING B-3 INTERMEDIATE BUSINESS
FINISH FLOOR 1800.46

NEW 4" ASPH SPEED-
DRAINAGE BUMP

—END NEW 8' TALL
FENCING WITH EXISTING
CURB LINE

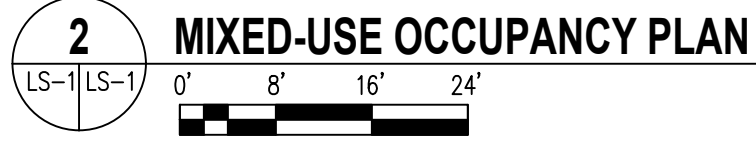
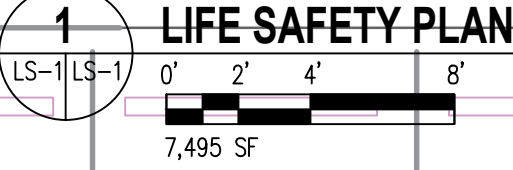
EROSION & SEDIMENT CONTROL PLAN

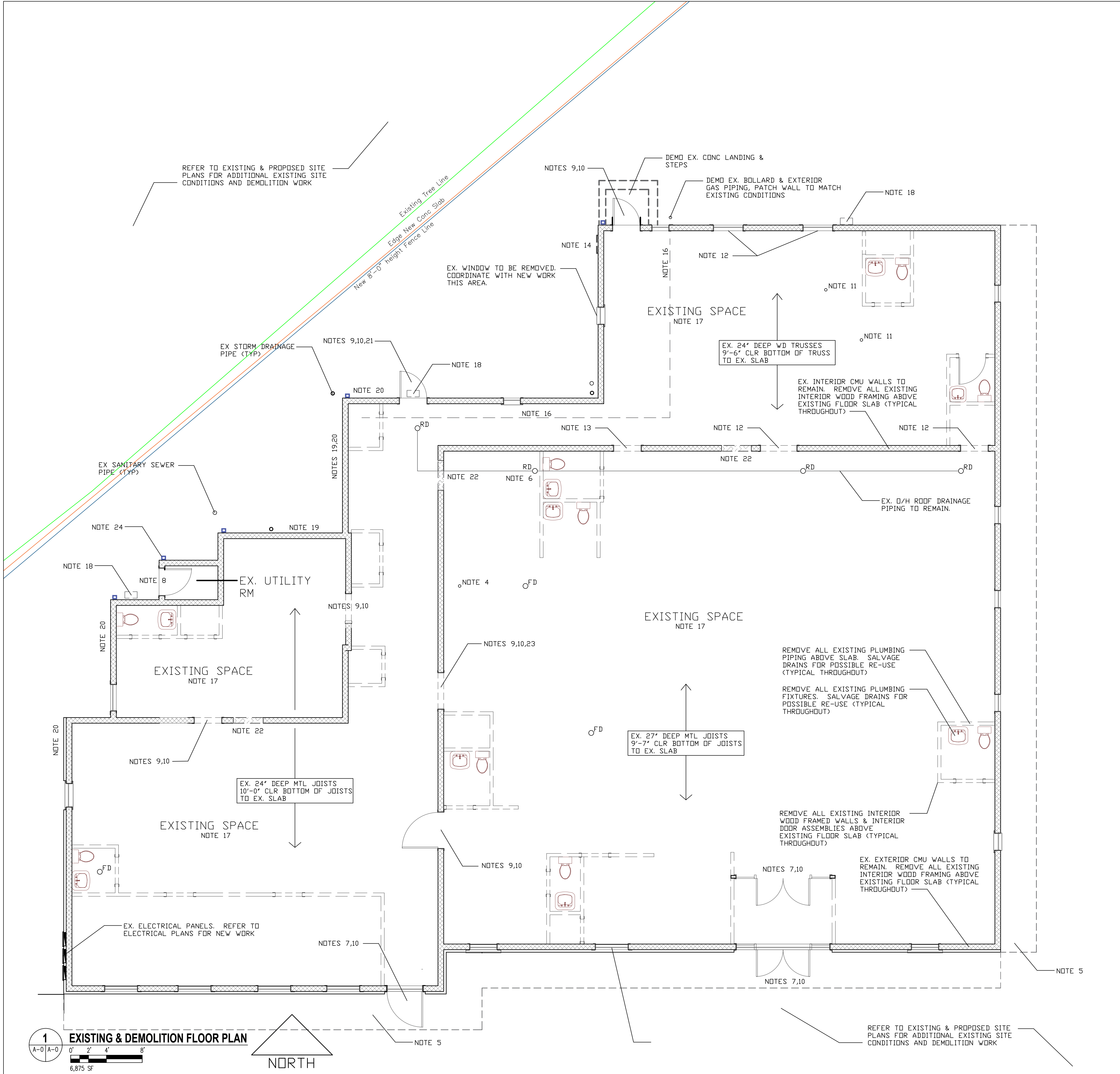


MINIMUM STANDARDS (ES STANDARDS) AS PROVIDED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK ARE MINIMUM STATE REQUIREMENTS FOR CONTROLLING EROSION AND SEDIMENTATION OF LAND-DISTURBING ACTIVITIES. THESE ES STANDARDS ESTABLISH MINIMUM REQUIREMENTS OF SOIL CONSERVATION PRACTICE. CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT AND COORDINATE SUCH MINIMUM STANDARDS AND NOT LESS THAN THOSE MORE STRINGENT REQUIREMENTS, AS MAY BE OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. REFERENCE SHALL BE MADE TO THE PROJECTS ESC PLAN AS APPROVED BY THE LOCAL REGULATING AUTHORITY FOR FULL DETAILS AND SPECIFICATIONS.

[illegible]

1. REFER TO PLAN SHEET A-1 FOR ALL NEW WORK CONSTRUCTION LAYOUT DIMENSIONS.
2. 1-HOUR FIRE RATED CORRIDOR:
 - 2.1. CORRIDOR ENTRY DOORS SHALL BE 60-MINUTE FIRE RATED ASSEMBLY.
 - 2.2. DOORS OPENING INTO CORRIDOR SHALL BE 20-MINUTE FIRE RATED ASSEMBLY.
 - 2.3. UTILITY SERVICE DOORS OPENING INTO CORRIDOR SHALL BE 45-MINUTE FIRE RATED ASSEMBLY.
3. ATTIC DRAFT STOP AREAS < 3,000 SF DEFINED ON THIS LIFE SAFETY PLAN. TOTAL OF 3.
 - 3.1. PROVIDE RATED SEPARATION WITH ALL OPENINGS SEALED TIGHT ACCORDANCE WITH CODE. REFER TO NEW WOOD FRAMED-GWB DRAFT STOP WALL DETAIL.
 - 3.2. EXISTING MASONRY WALLS FULL HEIGHT TO DECK SHALL BE SUFFICIENT SEPARATION PROVIDING ALL OPENINGS / PENETRATIONS CAULKED AND SEALED TIGHT.
 - 3.3. ACCESS LOCATIONS INTO EACH SEPARATE DRAFT STOP AREA SHALL BE THROUGH LAY-IN CEILING SYSTEM AND THROUGH 20" x 30" ATTIC ACCESS LOCATIONS AS IDENTIFIED ON PLAN, ONE FOR EACH ROOF SYSTEM AREA. NO ACCESS BETWEEN SEPARATED DRAFT STOP AREAS REQUIRED.
4. ATTIC ACCESS OPENINGS SCHEMATICALLY SHOWN. COORDINATE LOCATIONS WITH OWNER FOR FULL EXTENSION LADDER ACCESS WITH MINIMAL DISTURBANCE TO INSTALLED CEILING MOUNTED FIXTURES AND DEVICES.

[illegible]



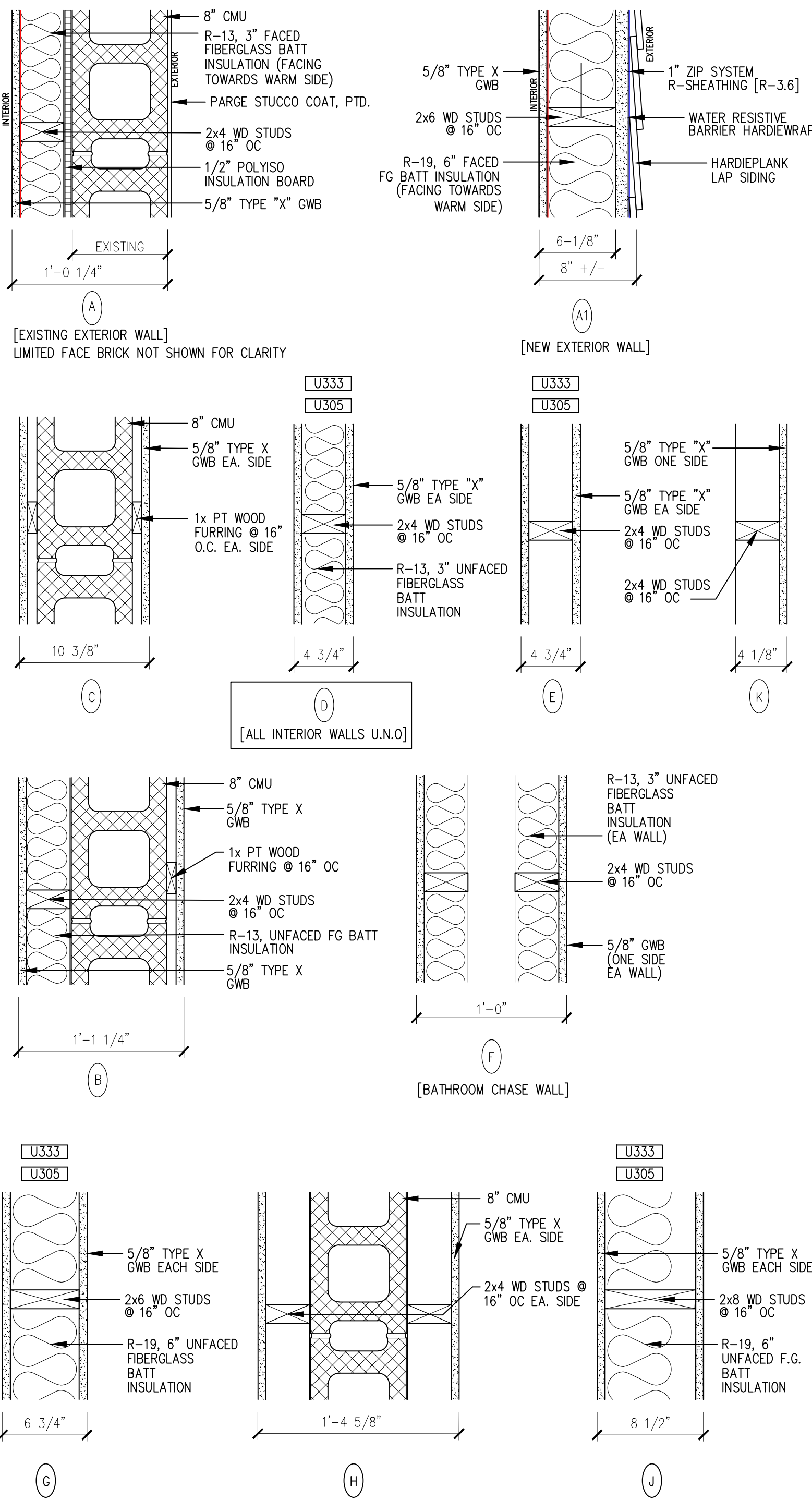
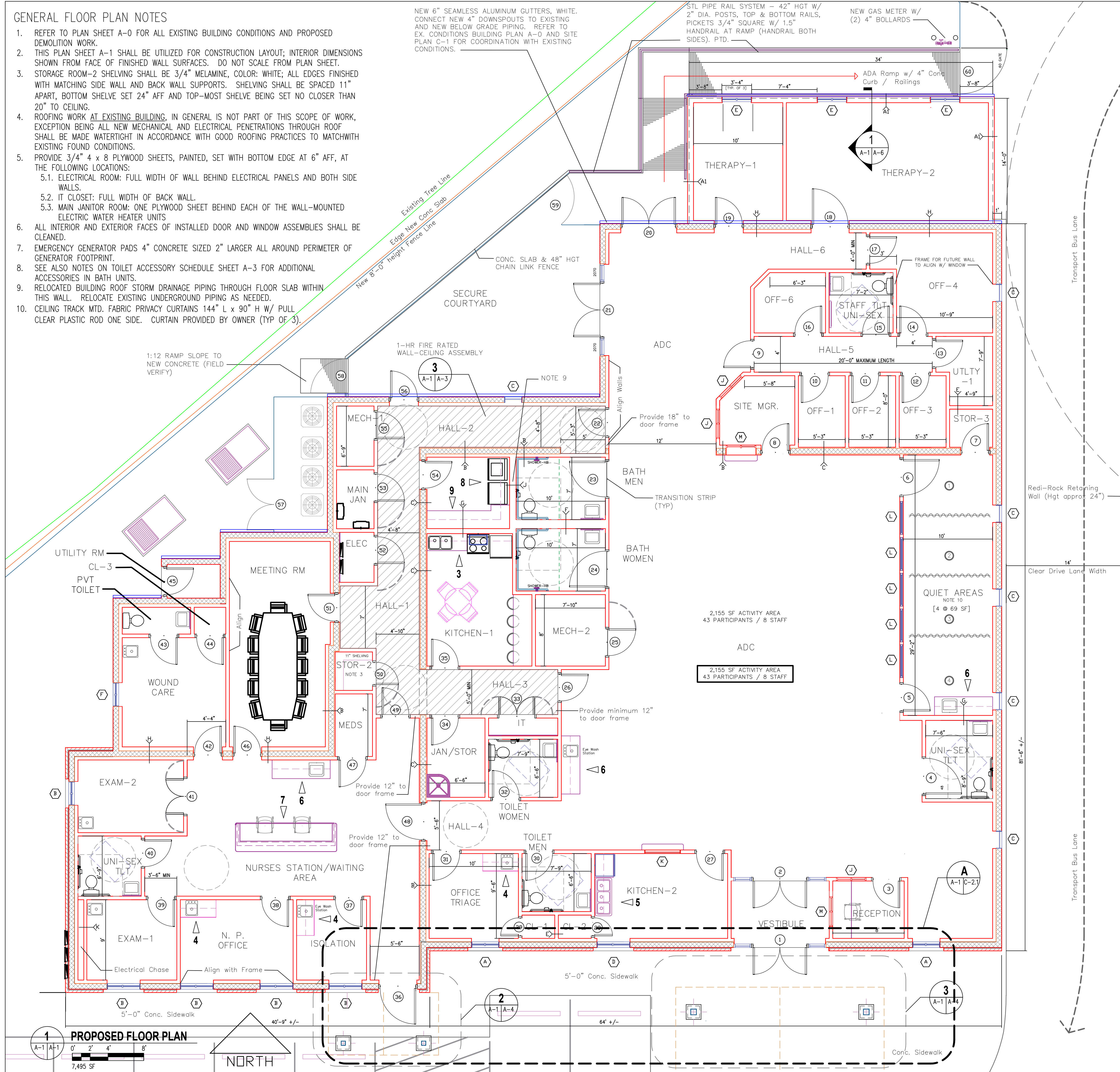
GENERAL EXISTING CONDITIONS & DEMOLITION PLAN NOTES

- REFER TO PLAN SHEET A-1 FOR ALL NEW WORK CONSTRUCTION LAYOUT DIMENSIONS.
- EXISTING ROOF NOT IN SCOPE. NO WORK ON EXISTING ROOF WITH EXCEPTION OF FOLLOWING:
 - ALL NEW MECHANICAL & ELECTRICAL PENETRATIONS, IF REQUIRED, SHALL BE MADE TO MATCH EXISTING CONDITIONS AND MADE WATERTIGHT.
- EXISTING KNOWN FLOOR DRAINS SHOWN ON PLAN; OTHERS MAY EXIST, THOUGH NOT SHOWN. CONTRACTOR SHALL SALVAGE ALL EXISTING FLOOR DRAINS, RAISE TO NEW FINISH FLOOR HEIGHT AND PROVIDE COVER. REFER TO NEW PLUMBING PLAN IF RE-USED.
- EX. INCOMING WATER SERVICE & SHUTOFF. RELOCATE AND PROVIDE MAIN WATER LINE SHUTOFF ACCESSIBLE BELOW CLG; COORDINATE WITH NEW INCOMING WATER SERVICE; REFER TO PLUMBING PLANS.
- DEMO EXISTING EXTERIOR CONC. SIDEWALK. PREP FOR NEW WORK, REFER TO PLAN SHEET C-1.
- EX. ROOF DRAINAGE PIPING THROUGH FLOOR TO EXTERIOR DRAIN; ALL ABOVE CEILING DRAINAGE PIPING FROM ROOF TO REMAIN. AND EXTERIOR DRAINAGE PIPING TO REMAIN. CONTRACTOR SHALL:
 - FIND EXTERIOR DRAIN OUTLET AND CLEAN OUT EX. PIPING TO BUILDING TO ENSURE OPERATION,
 - CUT-OFF EXISTING PIPING THROUGH / AT EX. FLOOR AND PATCH/SEAL TIGHT,
 - RELOCATE DRAINAGE PIPING THROUGH FLOOR AS NECESSARY COORDINATED WITH NEW CONSTRUCTION WALL WORK, AND
 - REWORK ALL ABOVE FLOOR DRAINAGE PIPING AS NECESSARY TO MAINTAIN ROOF DRAINAGE OPERATION.
- NEW RAIN LEADER PIPING FROM ROOF DRAINS THROUGH WALL BETWEEN LAUNDRY AND BATH-MEN. REFER TO PLAN SHEET A-1.
- EX. EXTERIOR STOREFRONT DOOR (& WINDOW) ASSEMBLY TO BE SALVAGED AND REWORKED AS REQUIRED COORDINATED WITH NEW RAISED FINISHED FLOOR. REFER TO DOOR SCHEDULE FOR NEW WORK.
- EX. EXTERIOR DOOR TO BE REMOVED; SALVAGE FRAME FOR RE-USE. REFER TO DOOR SCHEDULE FOR NEW WORK.
- REMOVE EX. DOOR ASSEMBLY. REFER TO DOOR SCHEDULE FOR NEW WORK.
- RAISE EX. CMU DOOR HEAD COORDINATED WITH NEW 1.5" RAISED FINISHED FLOOR; INSTALL NEW DOOR ASSEMBLY PER DOOR SCHEDULE. COORDINATE WITH STRUCTURAL PLANS.
- EX. PLUMBING PIPING ABOVE EX. FLOOR, TYPICAL THROUGHOUT AS MAY BE FOUND. CONTRACTOR SHALL REMOVE ALL UNUSED PIPING NOT SALVAGED AND CAP/ SEAL TIGHT. REFER TO PLUMBING PLANS FOR NEW WORK.
- EX. DOORS/WINDOWS TO BE REMOVED; EXISTING OPENINGS TO BE REUSED/REWORKED PER NEW WORK PLAN A-1. RAISE EX. CMU DOOR HEADS COORDINATED WITH NEW 1.5" FINISHED FLOOR HEIGHT AND COORDINATE OPENING WIDTHS PER DOOR SCHEDULE. COORDINATE WITH STRUCTURAL PLANS.
- REFER TO STRUCTURAL PLANS FOR ENLARGED MASONRY OPENING AND NEW STRUCTURAL WORK.
- EX. WALL-MOUNTED, STEEL ROOF ACCESS LADDER TO BE REMOVED. PATCH WALL TO MATCH EXISTING CONDITIONS.
- CONTRACTOR TO PROVIDE COMPLETE DEMOLITION ABOVE EXISTING FLOOR SLAB AND AS OTHERWISE SPECIFIED HEREIN.
- EX. GAS LINE ABOVE CEILING TO REMAIN OR AS OTHERWISE SPECIFIED ON MECHANICAL PLANS. REFER TO MECHANICAL PLANS FOR COORDINATION.
- PATCH / REPAIR EX. CONCRETE SLAB; PREP FOR NEW 1.5" FLOOR LEVELER APPLICATION OVER ENTIRE FLOOR AREA.
- REMOVE EX. EXTERIOR, WALL-MOUNTED WALL PACK LIGHT; PATCH TO MATCH EX. CONDITIONS. REFER TO ELECTRICAL PLANS FOR NEW WORK.
- REMOVE EX. WALL-MOUNTED DISCONNECTS; PATCH TO MATCH EX. CONDITIONS.
- REMOVE EX. MECHANICAL GRILLES 7 OTHER PENETRATIONS IN EXTERIOR WALL. PATCH TO MATCH EX. CONDITIONS.
- EX. EXTERIOR WALL DOOR OPENING TO BE RE-USED; RAISE EX. CMU HEAD AS REQUIRED WITH NEW FINISH FLOOR HEIGHT.
- NEW MASONRY DOOR / WINDOW OPENING. REFER TO DOOR & WINDOW SCHEDULE, AND STRUCTURAL PLANS.
- EXISTING MASONRY OPENING TO BE REMOVED ABOVE NEW CEILING TO ALLOW UNINTERRUPTED, CONTINUOUS NEW ACT INSTALLATION THROUGH OPENING.
- LOCATION OF NEW 4" DOWNSPOUTS. CONNECT INTO EXISTING BELOW GRADE STORM PIPING DISCHARGING TO CREEK; PROVIDE NEW BELOW GRADE SCH 80 4" PVC PIPING AS NEEDED TO CONNECT ALL NEW DOWNSPOUTS FOR CREEK SIDE DISCHARGE.

Project Number		Sheet		A-0	
Date		03.29.24		MOUNT RODGERS PLACE	
Scale		AS INDICATED		BRISTOL, VIRGINIA	
Designed By				180 Bristol East Road - Bristol, Virginia 24201	
Drawn By				EXISTING & DEMOLITION PLAN	
Checked By					

GENERAL FLOOR PLAN NOTES

- REFER TO PLAN SHEET A-0 FOR ALL EXISTING BUILDING CONDITIONS AND PROPOSED DEMOLITION WORK.
- THIS PLAN SHEET A-1 SHALL BE UTILIZED FOR CONSTRUCTION LAYOUT; INTERIOR DIMENSIONS SHOWN FROM FACE OF FINISHED WALL SURFACES. DO NOT SCALE FROM PLAN SHEET.
- STORAGE ROOM-2 SHELVING SHALL BE 3/4" MELAMINE, COLOR: WHITE; ALL EDGES FINISHED WITH MATCHING SIDE WALL AND BACK WALL SUPPORTS. SHELVING SHALL BE SPACED 11" APART, BOTTOM SHELVE SET 24" AFF AND TOP-MOST SHELVE BEING SET NO CLOSER THAN 20" TO CEILING.
- ROOFING WORK AT EXISTING BUILDING, IN GENERAL IS NOT PART OF THIS SCOPE OF WORK, EXCEPTION BEING ALL NEW MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH ROOF SHALL BE MADE WATERTIGHT IN ACCORDANCE WITH GOOD ROOFING PRACTICES TO MATCH WITH EXISTING FOUND CONDITIONS.
- PROVIDE 3/4" 4 x 8 PLYWOOD SHEETS, PAINTED, SET WITH BOTTOM EDGE AT 6" AFF, AT THE FOLLOWING LOCATIONS:
 - ELECTRICAL ROOM: FULL WIDTH OF WALL BEHIND ELECTRICAL PANELS AND BOTH SIDE WALLS.
 - IT CLOSET: FULL WIDTH OF BACK WALL.
 - MAIN JANITOR ROOM: ONE PLYWOOD SHEET BEHIND EACH OF THE WALL-MOUNTED ELECTRIC WATER HEATER UNITS
- ALL INTERIOR AND EXTERIOR FACES OF INSTALLED DOOR AND WINDOW ASSEMBLIES SHALL BE CLEANED.
- EMERGENCY GENERATOR PADS 4" CONCRETE SIZED 2" LARGER ALL AROUND PERIMETER OF GENERATOR FOOTPRINT.
- SEE ALSO NOTES ON TOILET ACCESSORY SCHEDULE SHEET A-3 FOR ADDITIONAL ACCESSORIES IN BATH UNITS.
- RELOCATED BUILDING ROOF STORM DRAINAGE PIPING THROUGH FLOOR SLAB WITHIN THIS WALL. RELOCATE EXISTING UNDERGROUND PIPING AS NEEDED.
- CEILING TRACK MTD. FABRIC PRIVACY CURTAINS 144" L x 90" H W/ PULL CLEAR PLASTIC ROD ONE SIDE. CURTAIN PROVIDED BY OWNER (TYP OF 3).



WALL TYPES

- ALL HARDIE SIDING, TRIM AND ACCESSORIES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- ALL INTERIOR WALLS TYPE "D" U.N.O.
- ALL EXISTING EXTERIOR WALLS TYPE "A". REFER TO ELEVATIONS FOR FACE BRICK APPLICATIONS.
- ALL NEW EXTERIOR WALLS TYPE "A1".

Revision

Date

No.

1

03.05.24

03.29.24

05.17.24

95% REVIEW SET

PERMIT & BID SET

SCHEMATIC FLOOR PLAN REV-1

180 Bristol East Road - Bristol, Virginia 24201

MOUNT RODGERS PLACE
BRISTOL, VIRGINIA

PROJECT NUMBER

AS INDICATED

DESIGNED BY

DRAWN BY

CHECKED BY

DATE

SCALE

PROJECT

CLIENT

ARCHITECT

ENGINEER

PLUMBER

ELECTRICIAN

MECHANICAL

STRUCTURAL

LANDSCAPE

INTERIOR DESIGN

EXTERIOR DESIGN

PAINTING

ROOFING

DEMOLITION

FOUNDATION

CONCRETE

STEEL

WOOD

GLASS

METAL

PLASTER

CEILING

FLOOR

WALL

DOOR

WINDOW

STAIR

ELEVATOR

MECHANICAL ROOM

ELECTRICAL ROOM

JANITOR ROOM

TOILET

BATH

KITCHEN

MEETING ROOM

EXAM ROOM

RECEPTION

VESTIBULE

OFFICE TRIAGE

TOILET MEN

TOILET WOMEN

JANITOR

STORAGE

MECHANICAL-2

KITCHEN-1

HALL-1

HALL-2

HALL-3

HALL-4

HALL-5

HALL-6

OFF-1

OFF-2

OFF-3

OFF-4

OFF-5

OFF-6

STOR-1

STOR-2

STOR-3

MECH-1

MECH-2

MECH-3

MECH-4

MECH-5

MECH-6

MECH-7

MECH-8

MECH-9

MECH-10

MECH-11

MECH-12

MECH-13

MECH-14

MECH-15

MECH-16

MECH-17

MECH-18

MECH-19

MECH-20

MECH-21

MECH-22

MECH-23

MECH-24

MECH-25

MECH-26

MECH-27

MECH-28

MECH-29

MECH-30

MECH-31

MECH-32

MECH-33

MECH-34

MECH-35

MECH-36

MECH-37

MECH-38

MECH-39

MECH-40

MECH-41

MECH-42

MECH-43

MECH-44

MECH-45

MECH-46

MECH-47

MECH-48

MECH-49

MECH-50

MECH-51

MECH-52

MECH-53

MECH-54

MECH-55

MECH-56

MECH-57

MECH-58

MECH-59

MECH-60

MECH-61

MECH-62

MECH-63

MECH-64

MECH-65

MECH-66

MECH-67

MECH-68

MECH-69

MECH-70

MECH-71

MECH-72

MECH-73

MECH-74

MECH-75

MECH-76

MECH-77

MECH-78

MECH-79

MECH-80

MECH-81

MECH-82

MECH-83

MECH-84

MECH-85

MECH-86

MECH-87

MECH-88

MECH-89

MECH-90

MECH-91

MECH-92

MECH-93

MECH-94

MECH-95

MECH-96

MECH-97

MECH-98

MECH-99

MECH-100

MECH-101

MECH-102

MECH-103

MECH-104

MECH-105

MECH-106

MECH-107

MECH-108

MECH-109

MECH-110

MECH-111

MECH-112

MECH-113

MECH-114

MECH-115

MECH-116

MECH-117

MECH-118

MECH-119

MECH-120

MECH-121

MECH-122

MECH-123

MECH-124

MECH-125

MECH-126

MECH-127

MECH-128

MECH-129

MECH-130

MECH-131

MECH-132

MECH-133

MECH-134

MECH-135

MECH-136

MECH-137

MECH-138

MECH-139

MECH-140

MECH-141

MECH-142

MECH-143

MECH-144

MECH-145

MECH-146

MECH-147

MECH-148

MECH-149

MECH-150

MECH-151

MECH-152

MECH-153

MECH-154

MECH-155

MECH-156

MECH-157

MECH-158

MECH-159

MECH-160

MECH-161

MECH-162

MECH-163

MECH-164

MECH-165

MECH-166

MECH-167

MECH-168

MECH-169

MECH-170

MECH-171

MECH-172

MECH-173

MECH-174

MECH-175

MECH-176

MECH-177

MECH-178

MECH-179

MECH-180

MECH-181

MECH-182

MECH-183

MECH-184

MECH-185

MECH-186

MECH-187

MECH-188

MECH-189

MECH-190

MECH-191

MECH-192

MECH-193

MECH-194

MECH-195

MECH-196

MECH-197

MECH-198

MECH-199

MECH-200

MECH-201

MECH-202

MECH-203

MECH-204

MECH-205

MECH-206

MECH-207

MECH-208

MECH-209

MECH-210

MECH-211

MECH-212

MECH-213

MECH-214

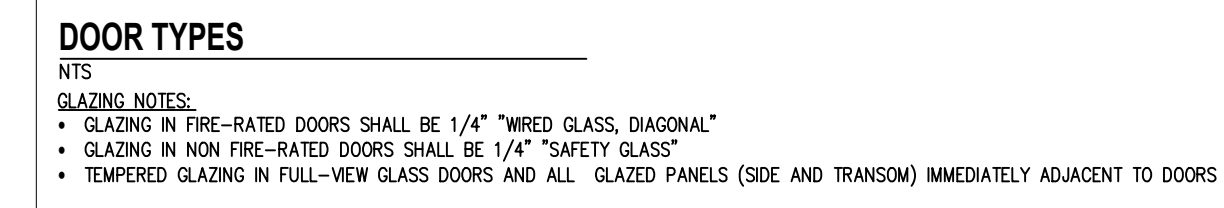
MECH-215

MECH-216

MECH-217

MECH

1. REFER TO PLAN SHEET A-1 FOR ALL NEW WORK CONSTRUCTION LAYOUT DIMENSIONS.
2. THIS PLAN SHEET A-2 SHALL NOT BE UTILIZED FOR CONSTRUCTION LAYOUT; DO NOT SCALE FROM PLAN SHEET.



DOOR AND HARDWARE SCHEDULE NOTES:

- 1. ALL INTERIOR DOORS TO BE PROVIDED WITH FRAME, SWAYLE COMPLETE DOOR, FRAME AND HARDWARE SCHEDULE TO BE SUBMITTED FOR OWNER REVIEW AND APPROVAL. PRIOR TO ORDER.
- 2. PROVIDE DOOR SILL AND HEAD JAMB AND SILL WATERSTOPPING.
- 3. PROVIDE DOOR SILL AND HEAD JAMB WITH VINYL SILL AND SILL GASKET.
- 4. PROVIDE 3" SILL AND HEAD JAMB WITH VINYL SILL AND SILL GASKET. PROVIDE NEW CYLINDRICAL LOCKSET.
- 5. CONTRACTOR SHALL TEST OPERATION AND USE OF ALL SALVAGED AND RELOCATED DOOR HARDWARE FOR ACCEPTABILITY AND USE. ADVISE OWNER OF ANY COMPONENT CANNOT BE RE-USED.
- 6. PROVIDE 3" CARBIDE HEAVY CONTROLLED ACCESS.
- 7. PROVIDE 3" DOOR UNDERCUT.
- 8. WOOD DOORS TO BE OILED.
- 9. PROVIDE 3" PANEL, PAINT-GRADE.
- 10. WOOD DOORS TO BE OILED.
- 11. EXTERIOR GRADE PANIC HARDWARE DEVICE WITH ALARM AND DELAYED RELEASE.
- 12. LOCK FFI BY OWNER.
- 13. ALL INTERIOR DOORS PROVIDED WITH DOMESTIC-STYLE, FLOOR STOP BY INVEL OR EQUAL, FINISH US20D. NO STOPS FOR EXTERIOR DOORS.
- 14. NEW DOUBBLE STOREFRONT DOOR ASSEMBLY & HARDWARE, INCLUSIVE OF ADJUNCT 3" SIGHTLIGHTS EACH SIDE. MATCH SIZE & STYLE OF EXISTING STOREFRONT ASSEMBLY DOORS NO. 1 & 2.
- 15. PROVIDE 2" ASTRAGAL AT RATED DOUBLES.
- 16. EXISTING DOOR ASSEMBLY AND HARDWARE TO REMAIN. PAINT DOOR & FRAME; PROVIDE NEW CYLINDRICAL LOCKSET.
- 17. SECURE ACCESS CONTROLLED FROM BUZZER CONTROL AT RECEPTION OFFICE.
- 18. EXISTING GLASS AND SIGHTLIGHTS AT DOORS SHALL BE 1/4" THICKED GLASS.
- 19. **HL-6** - DOOR TYPE SHALL BE COORDINATED BY OWNER FOR PANEL, FINISH FACE, FLUSH OR FLANGE.
- 20. **HL-7** - DOOR TYPE SHALL BE COORDINATED BY OWNER FOR PANEL, FINISH DESIGNATION DESIGNATE A FLUSH OR 6-PANEL DOOR TYPE TO BE DECIDED BY OWNER.

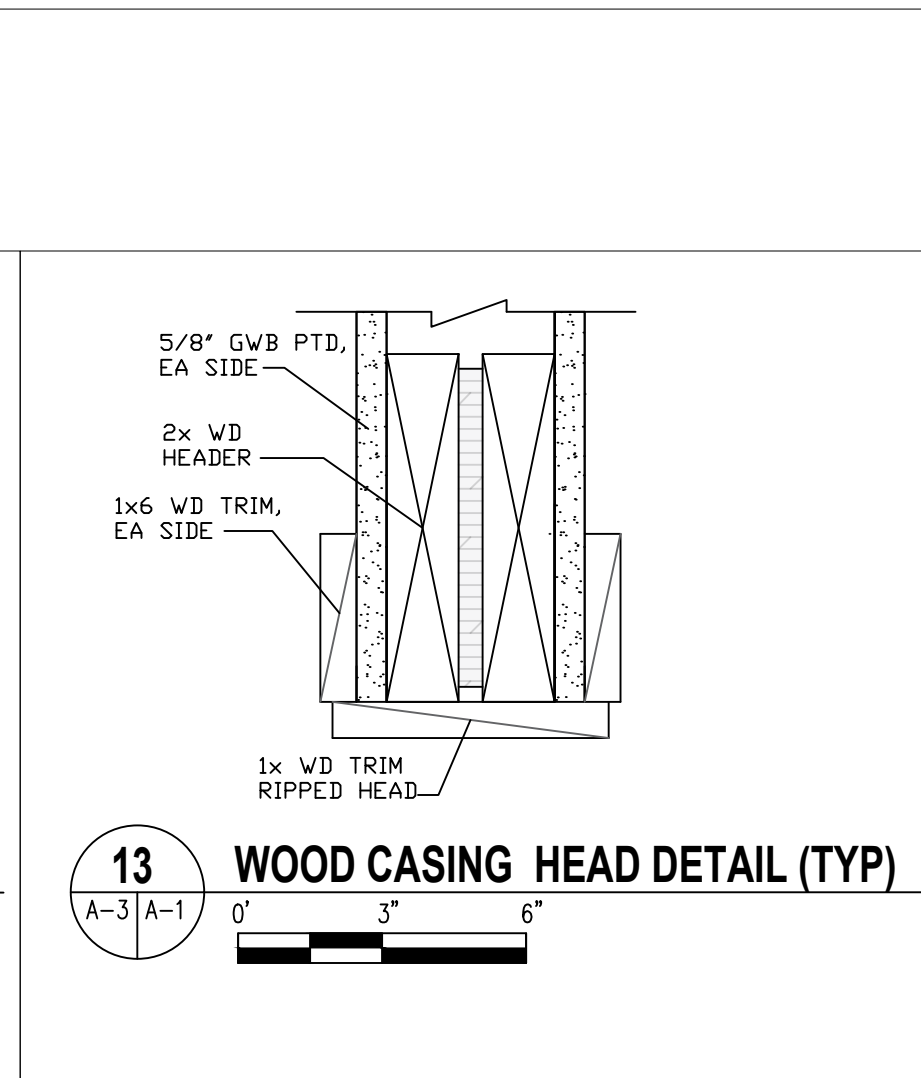
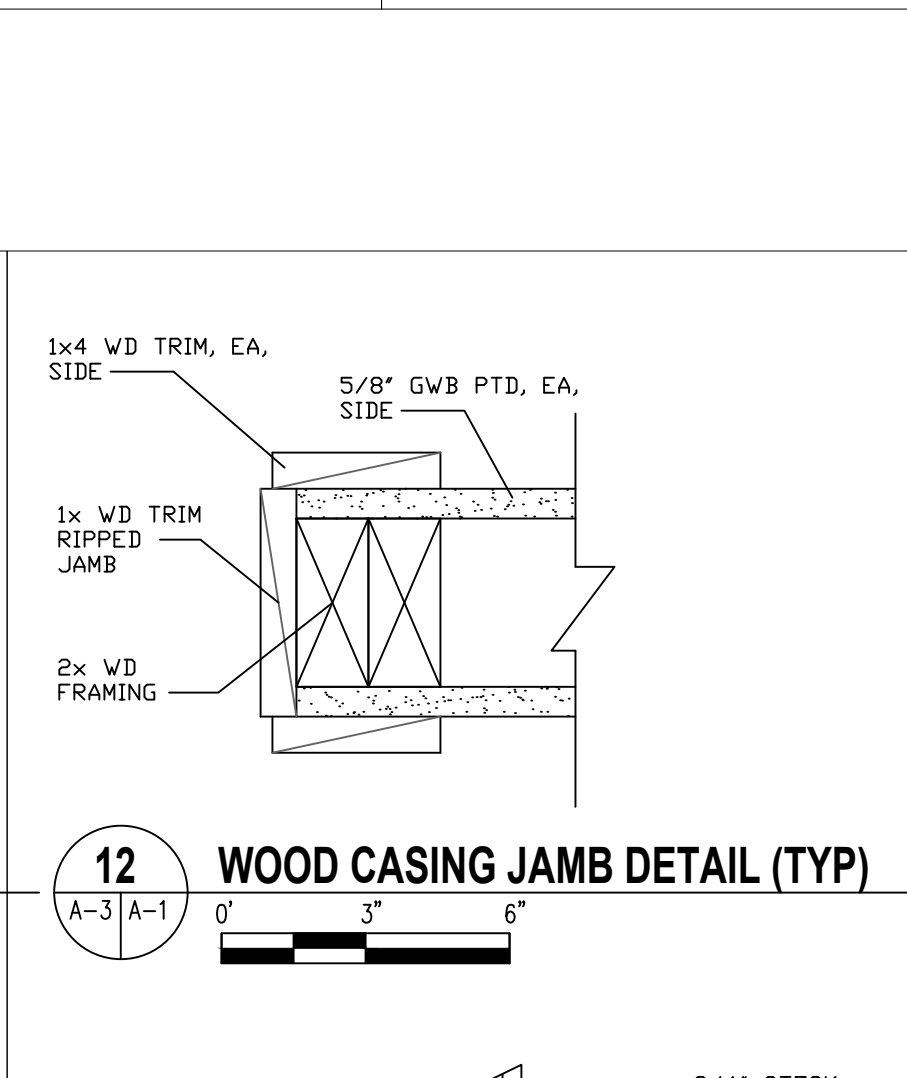
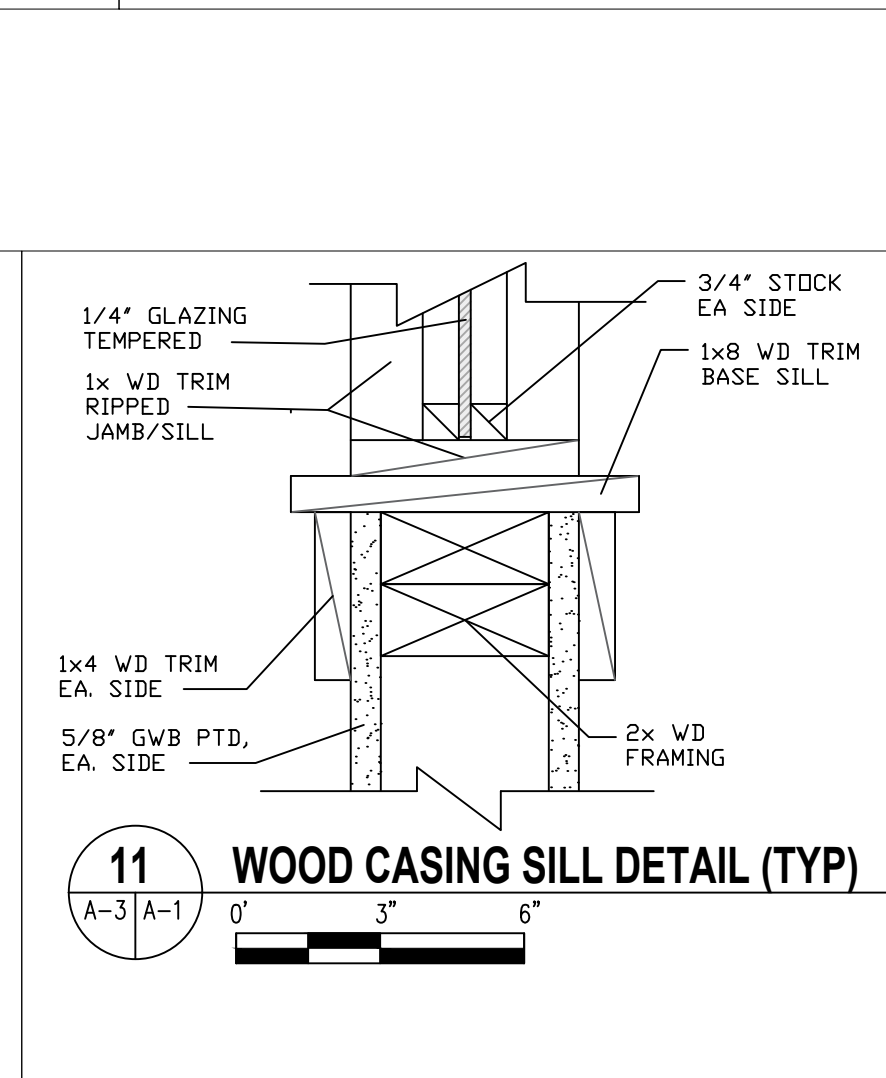
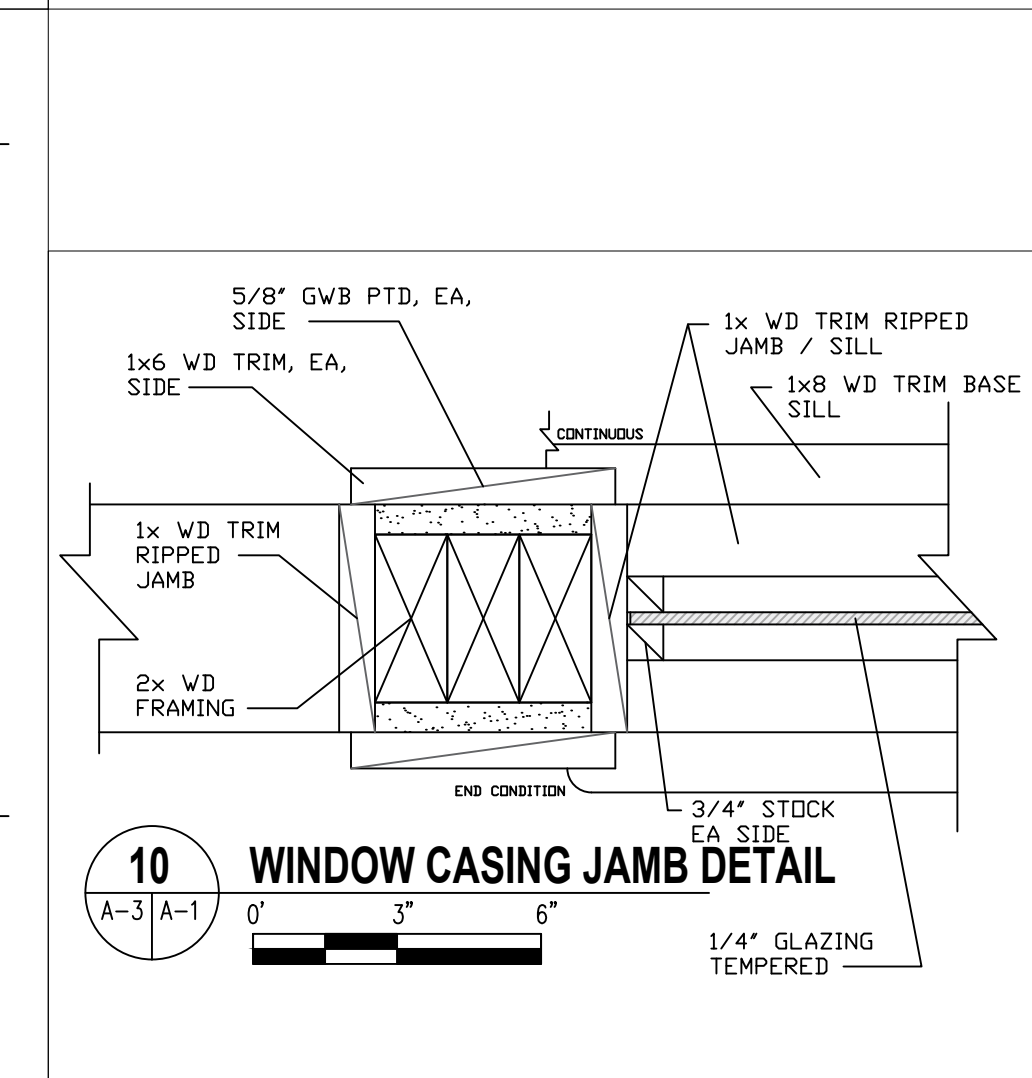
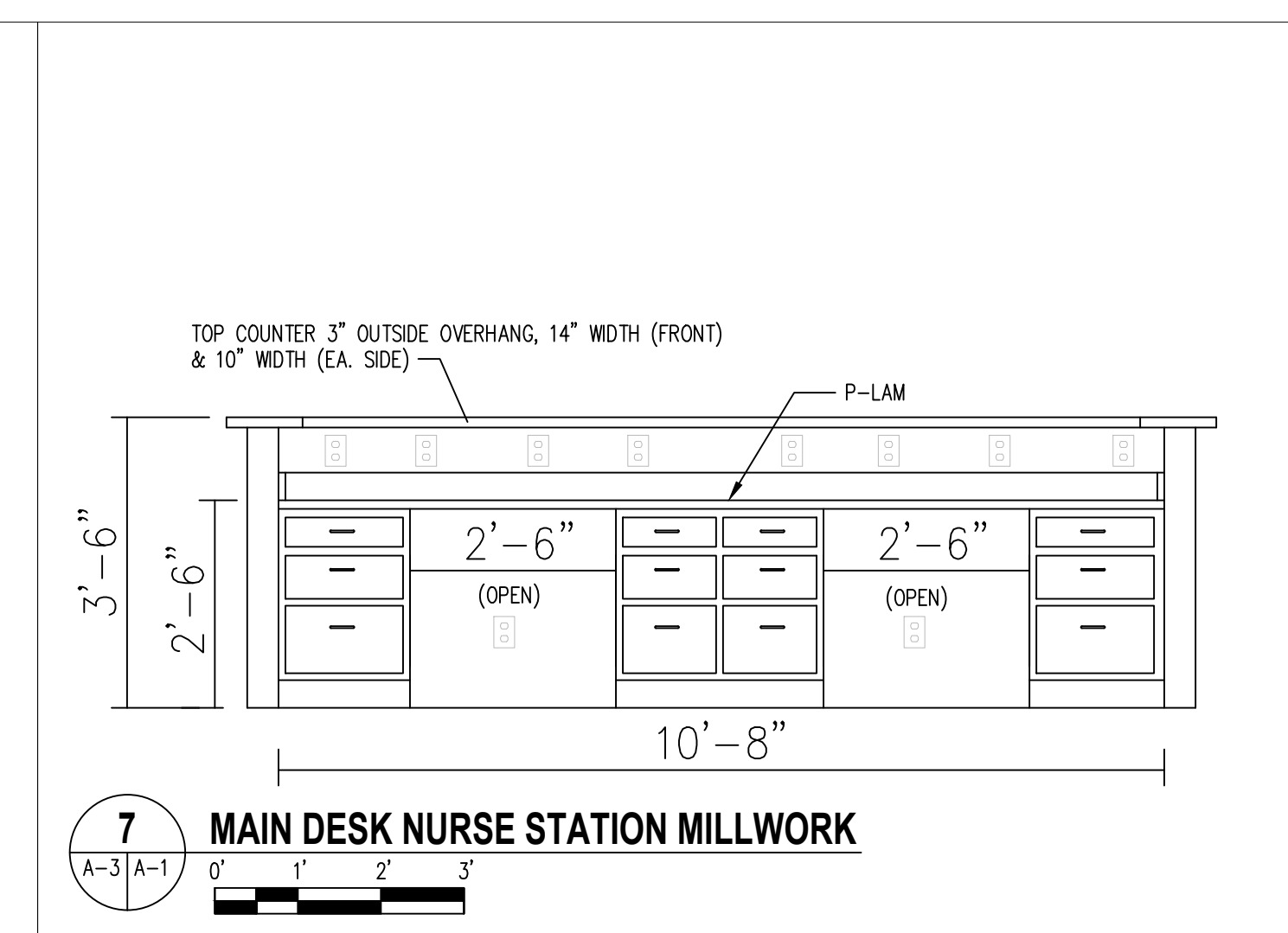
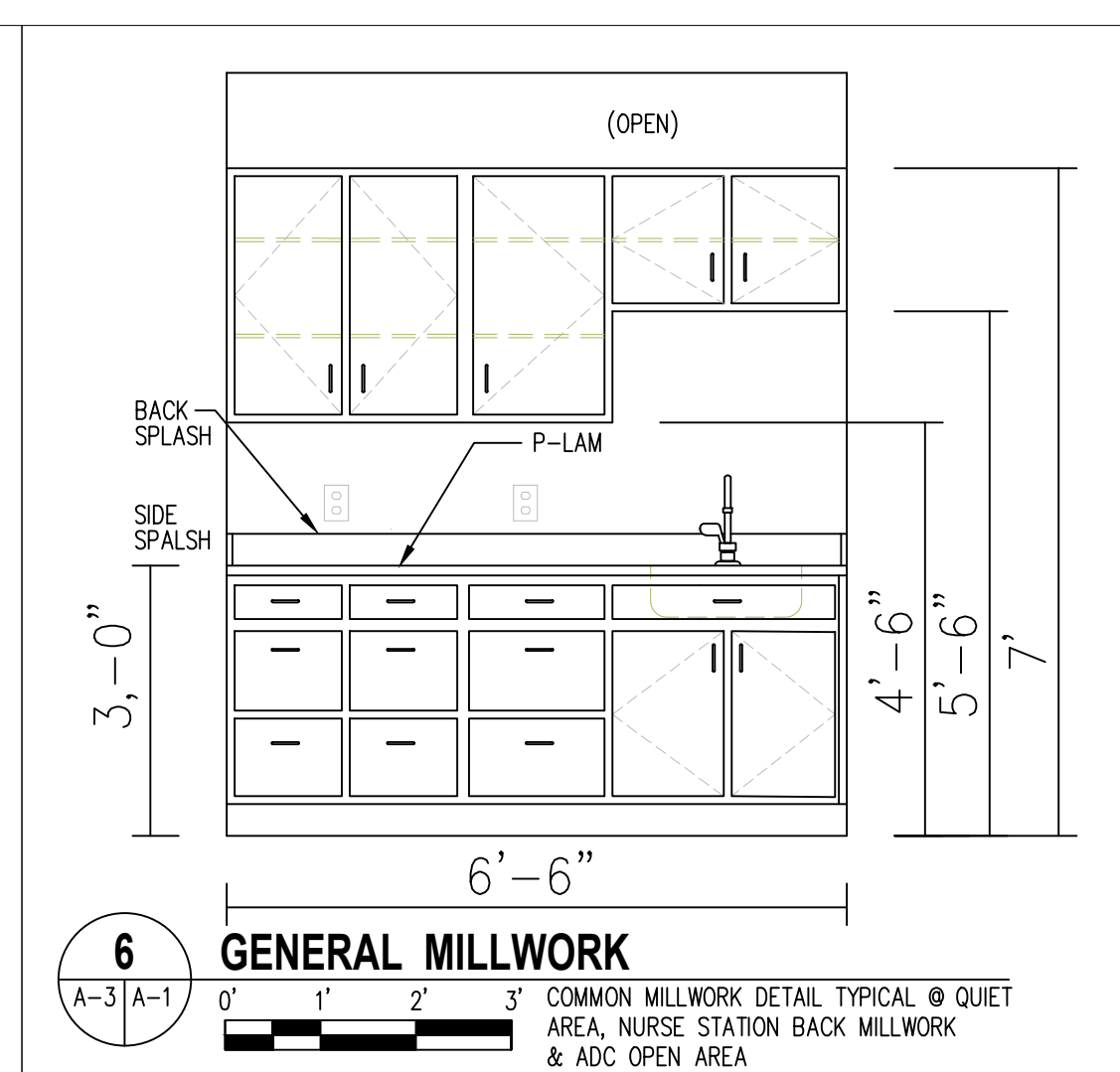
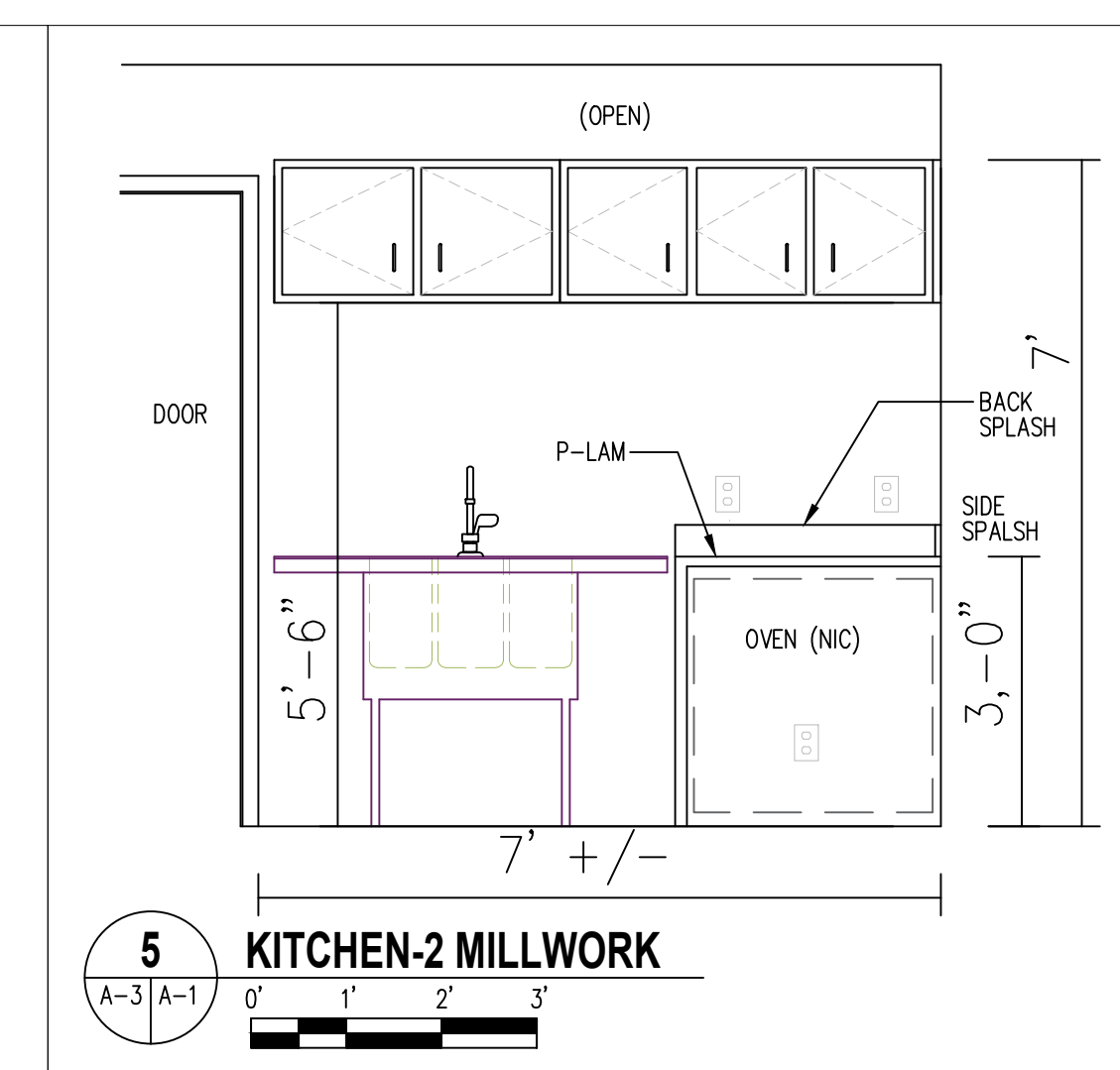
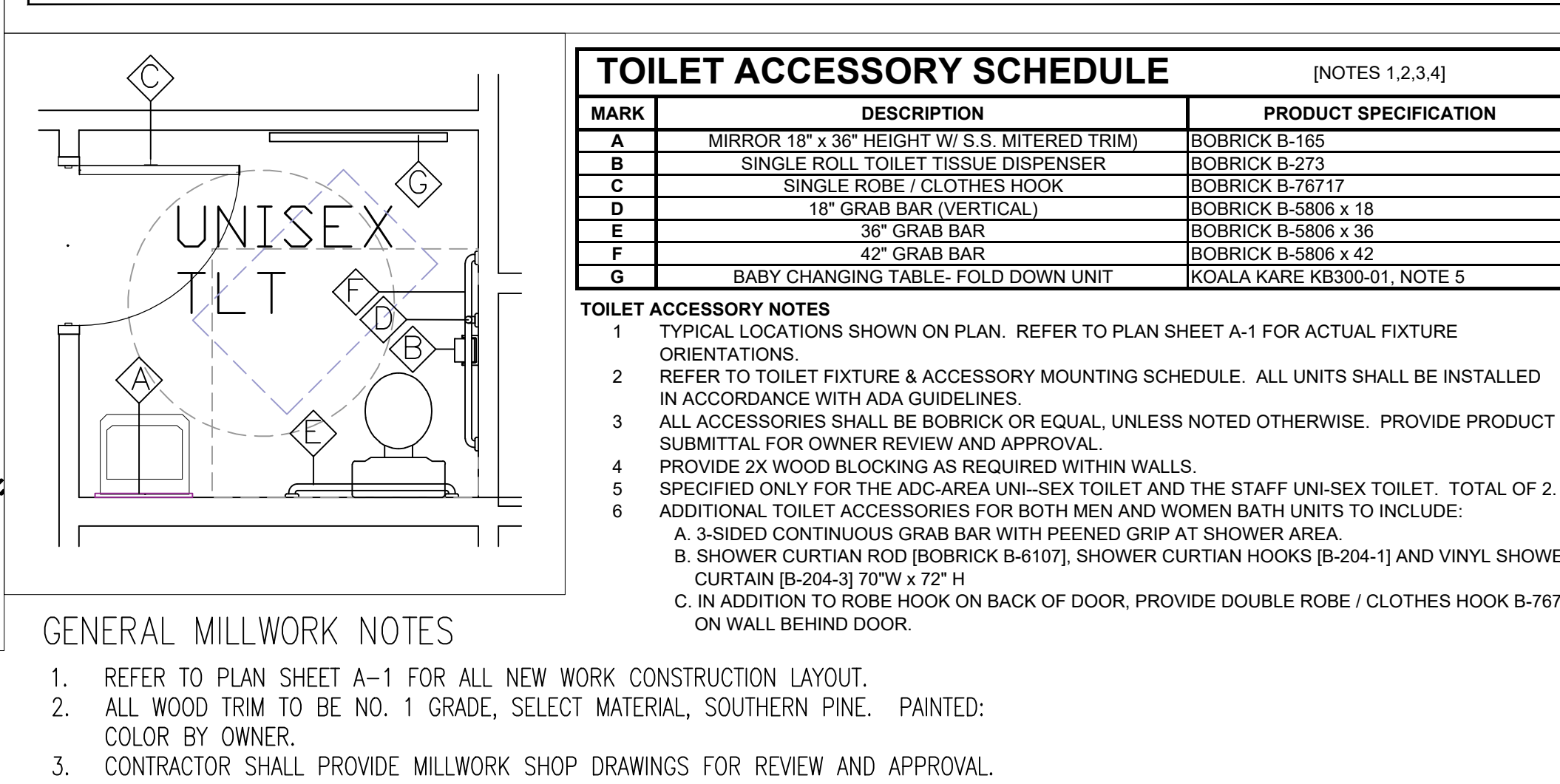
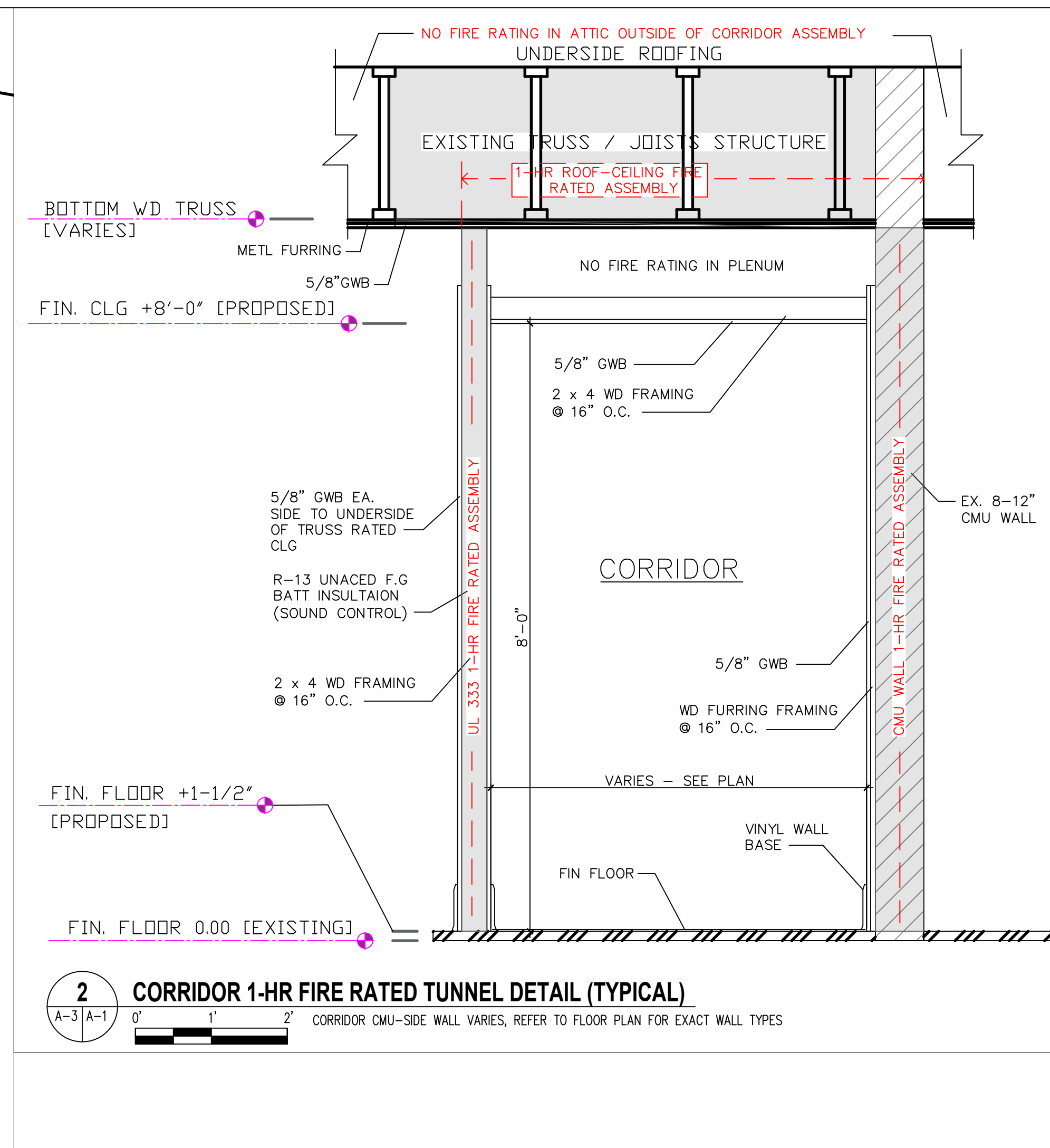
FINISH SCHEDULE NOTES

- A. WALLS: PAINT COLOR: 2 GREY (MEDIUM)
- B. DOORS: PAINT COLOR: 3 GREY (LIGHTER GREY)
- C. DOOR FRAMES: PAINT COLOR: 3 GREY (DARKER GREY)
- D. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH. NOTE LOCATIONS ON PLAN SHEET A-1.
- E. VINYL WALL BASE: 4" DARK GREY
- F. OWNER SHALL PROVIDE THE FOLLOWING ABOVE FINISH MATERIALS FOR CONTRACTOR TO INSTALL:
 - A. VINYL WALL BASE
 - B. WALL PRIMER AND FINISH PAINT
 - C. LVT FLOORING AND ACCESSORIES.
- G. CONTRACTOR SHALL FURNISH AND INSTALL ALL OTHER ABOVE FINISH PRODUCTS.
- H. REFER TO REFLECTED CEILING PLAN SHEET A-4 FOR CEILING HEIGHTS

NOTES:

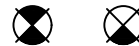
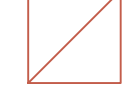
1. WINDOW LOCATIONS, DIMENSIONS AND OPENINGS SHALL BE COORDINATED AS SHOWN ON PLANS. OWNER SHALL PROVIDE WINDOW.
2. EXISTING WINDOW TO REMAIN. REMOVE/REPLACE INSULATED GLAZING ASSEMBLIES FOR ALL EXISTING WINDOWS TO REMAIN. CLEAN AND RE-CALK FRAMES INTERIOR/EXTERIOR UNTO RE-INSTALLATION. PROVIDE MEASUREMENTS TO MATCH EXISTING WINDOW. PROVIDE MEASUREMENTS TO MATCH EXISTING WINDOW TO ORDER/CONSTRUCT GLAZING ASSEMBLIES. CONTRACTOR SHALL PROVIDE FIELD-MEASURED DIMENSIONS FOR OWNER-ORDERING AND PROCUREMENT OF GLAZING. CONTRACTOR SHALL INSTALL NEW GLAZING.
3. NEW WINDOW TO MATCH EXISTING WINDOW. PROVIDE MEASUREMENTS TO MATCH EXISTING WINDOW TO ORDER/CONSTRUCT GLAZING ASSEMBLIES. CONTRACTOR SHALL PROVIDE FIELD-MEASURED DIMENSIONS FOR OWNER-ORDERING AND PROCUREMENT OF GLAZING. CONTRACTOR SHALL INSTALL NEW GLAZING.
4. FINAL WINDOW UNIT MANUFACTURER AND PRODUCT SELECTIONS/ SPECIFICATIONS SHALL BE COORDINATED BY CONTRACTOR THROUGH BERRY LUMBER-BRANDON.VA. PROVIDE APPROVAL.
5. WINDOW UNITS SHALL BE COORDINATED BY CONTRACTOR THROUGH BERRY LUMBER-BRANDON.VA. PROVIDE APPROVAL.
6. ALL WINDOW UNITS SHALL COMPLY WITH CURRENT ICC PENETRATION & SHGC REQUIREMENTS.
7. OPERABLE WINDOW OPENINGS: LOOK OUTWARD AND UPWARD.
8. PROVIDE 1" VINYL SLAT MIN-BLIND, INSIDE MOOT. COLOR: IVORY.
9. TEMPERED 1/4 GLAZING.
10. ALIGN TOP OF WINDOW HEADS WITH STANDARD DOOR FRAME HEADS.
11. NEW WINDOW UNIT TO MATCH WINDOW TYPE ON FRONT ELEVATION. OWNER SHALL PROVIDE WINDOW.
12. PROVIDE MEASUREMENTS TO MATCH EXISTING WINDOW. PROVIDE MEASUREMENTS TO MATCH EXISTING WINDOW TO ORDER/CONSTRUCT GLAZING ASSEMBLIES. CONTRACTOR SHALL PROVIDE FIELD-MEASURED DIMENSIONS FOR OWNER-ORDERING AND PROCUREMENT OF GLAZING. CONTRACTOR SHALL INSTALL NEW GLAZING.
13. PROVIDE SLIDER WINDOW KEY LOCK.
14. PROVIDE REAR DOOR UNIT W/ LOCKING MECHANISM. PROVIDE SHAW DRIVING FOR REVIEW. LOCK BY OWNER.
15. ALUMINUM FRAME UNIT. PROVIDE SHAW DRAWING FOR REVIEW.
16. FIELD-BUILT 1/4"WOOD CASING FRAMING HEAD, JAMB AND SIDING.

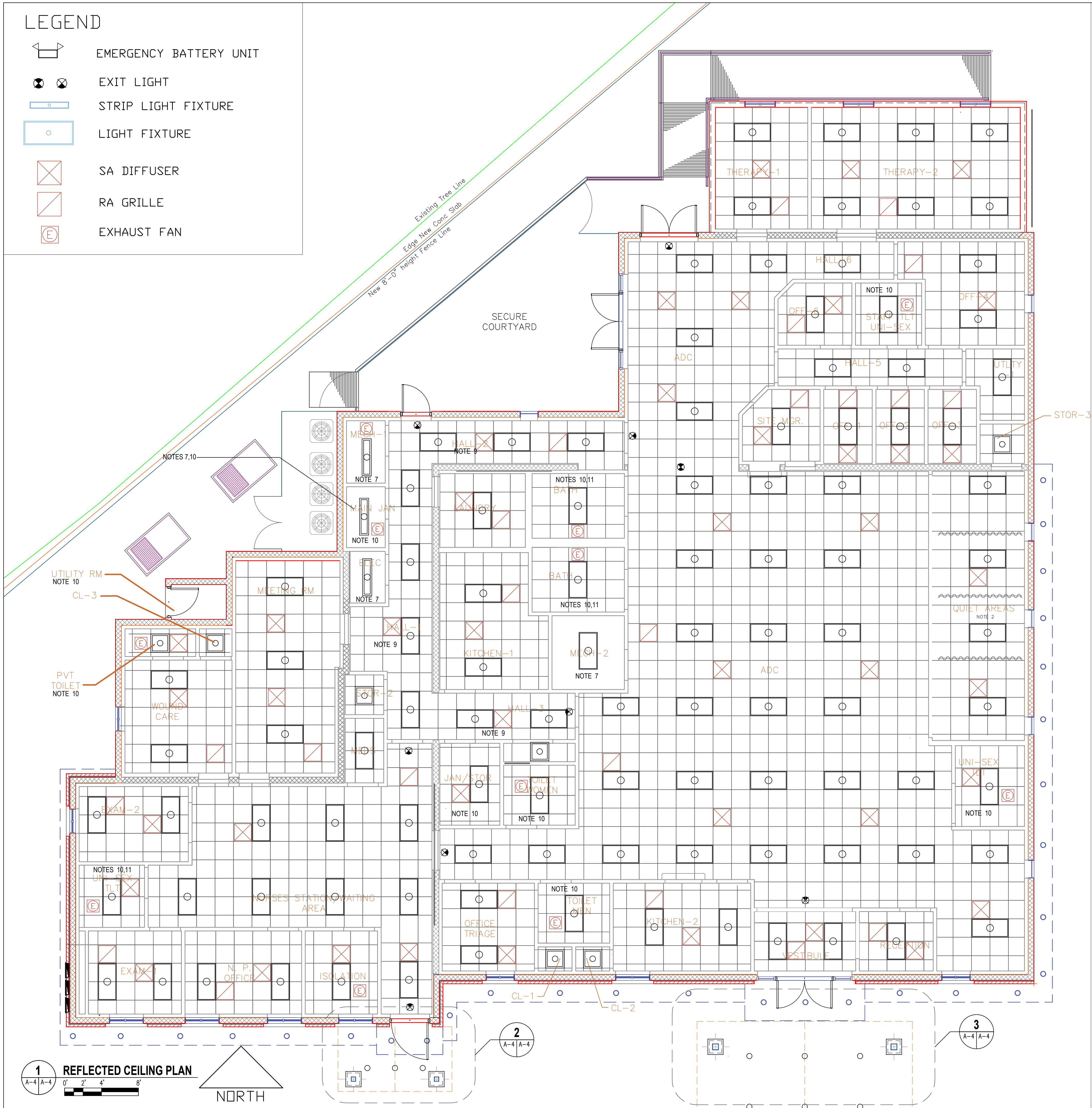
Project Number	Date	03.29.24
	Scale	AS INDICATED
Sheet	Designed By	
	Drawn By	
A-2	Checked By	



Project Number		Date 03.29.24 Scale AS INDICATED Designed By		MOUNT RODGERS PLACE BRISTOL, VIRGINIA 180 Bristol East Road - Bristol, Virginia 24201		No. Date Revision 95% REVIEW SET PERMIT & BID SET		27	
Sheet		Drawn By		MILLWORK / DETAILS & ENLARGED PLANS					
		Checked By							

LEGEND

-  EMERGENCY BATTERY UNIT
-  EXIT LIGHT
-  STRIP LIGHT FIXTURE
-  LIGHT FIXTURE
-  SA DIFFUSER
-  RA GRILLE
-  EXHAUST FAN



GENERAL REFLECTED CEILING PLAN NOTES

1. REFER TO PLAN SHEET A-1 FOR ALL NEW WORK CONSTRUCTION LAYOUT DIMENSIONS.
2. PROVIDE CEILING MOUNTED CURTAIN TRACK SYSTEM AND PRIVACY CURTAIN (COVOC CORPORATION OR EQUAL) SEPARATING EACH DEFINED QUIET AREA. CEILING TRACK TO BE EXTRUDED ALUMINUM WITH CLEAR ANODIZED FINISH AND SHALL INCLUDE ALL APPLICABLE HARDWARE INCLUDING STRAIGHT TRACK, END STOPS, ROLLER CARRIERS ND CURTAIN HOOKS. CURTAIN TO BE A PRIVACY CURTAIN 8' TALL, 10% LINGER LENGTH THAN TRACK LENGTH, 100% POLYESTER, HEMMED AND FINISHED ON ALL SIDES. THE CURTAIN IS TO INCLUDE METAL GROMMET RINGS FOR HANGING AND A 60" LENGTH FIBERGLASS BATON FOR OPENING AND CLOSING THE CURTAIN SHALL BE PROVIDED. COLOR: PROVIDE PRODUCT SUBMITTAL COLOR OPTIONS FOR OWNER REVIEW AND APPROVAL.
3. 8'-0" AFF LAY-IN ACOUSTICAL 2' X 2 CEILING SYSTEM TYPICAL THROUGHOUT, U.N.O.
4. GENERAL REFLECTED CEILING PLAN NOTES:

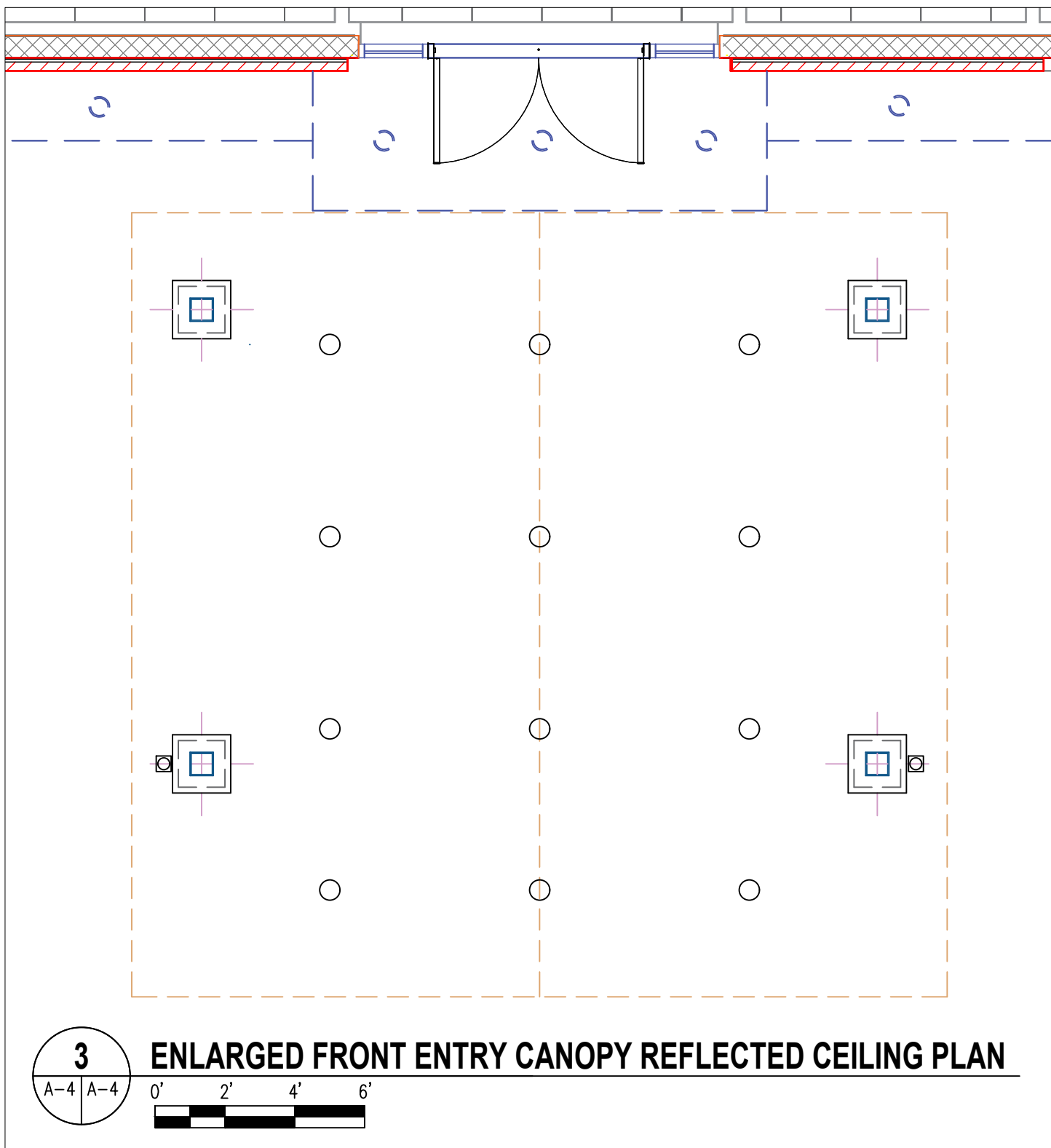
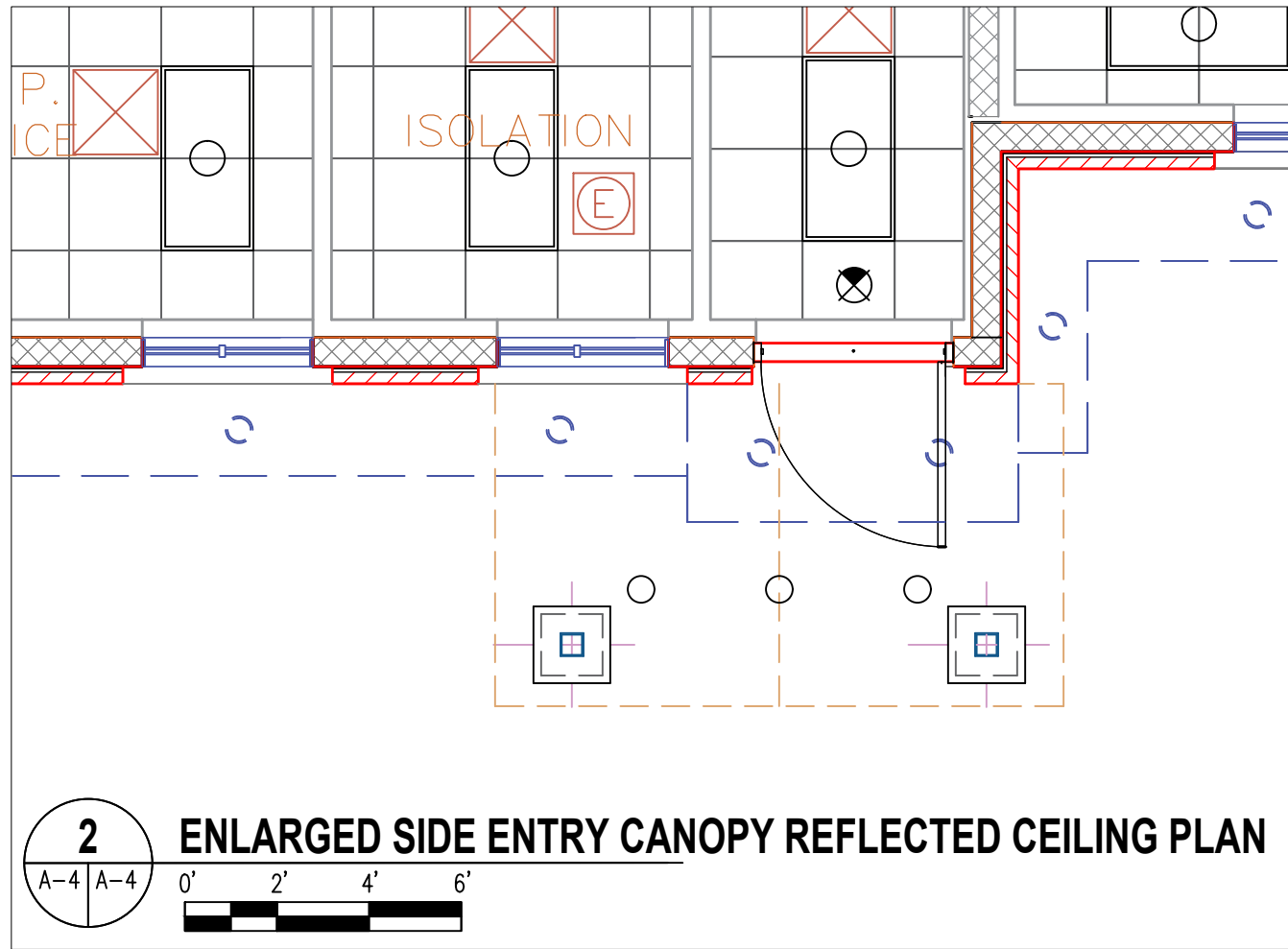
4.1. COORDINATE LOCATION OF ALL CEILING MOUNTED FIXTURES AND EQUIPMENT WITH EACH TRADE AND REFLECTED CEILING PLAN. CONTRACTOR SHALL COORDINATE ALL CEILING MOUNTED DEVICES WITH IT-DATA-SECURITY PLANS, HVAC PLANS, ELECTRICAL PLANS AND PLUMBING PLANS. IN CASE OF CONFLICT WITH THIS REFLECTED CEILING PLAN, THE WORST CASE SHALL GOVERN.

4.2. MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL PANELS TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH CEILING. AVOID USING LESS THAN HALF WIDTH PANELS AT BORDERS AND COMPLY WITH LAYOUT SHOWN ON RCP.
5. REFER TO FINISH SCHEDULE FOR CEILING MATERIAL FINISH SECTIONS.
6. 8'-0" AFF GYPSUM WALLBOARD FRAMED CEILING.
7. 10' AFF +/- CEILING OPEN TO GYPSUM WALLBOARD AT UNDERSIDE OF TRUSSES.
8. GYPSUM WALLBOARD BULKHEAD AT 6" BELOW FINISHED CEILING.
9. 1-HOUR FIRE RATED CORRIDOR CONSTRUCTION:

9.1. WALLS SHALL BE 1-HOUR RATED TO UNDERSIDE OF 1-HOUR FIRE RATED ROOF-CEILING ASSEMBLY.

9.2. CORRIDOR CEILINGS TO BE ACT 8'-0" AFF

9.3. REFER TO CORRIDOR 1-HOUR FIRE RATED TUNNEL CONSTRUCTION DETAIL-2 ON PLAN SHEET A-3.
10. WET AREAS GREEN BOARD APPLICATION FOR WALLS AND CEILINGS.
11. TILE CEMENT-BACKER BOARD FOR WALL APPLICATIONS.
12. REFER TO MECHANICAL & ELECTRICAL PLANS FOR FULL MECHANICAL & ELECTRICAL DEVICE AND FIXTURE SPECIFICATIONS.
13. REFER TO ELECTRICAL PLANS FOR OTHER CEILING MTD DEVICES (I.E., HEAT & SMOKE DETECTORS, EMERGENCY BATTERY UNITS, OCCUPANCY SENSORS AND OTHER ALARM DEVICES).



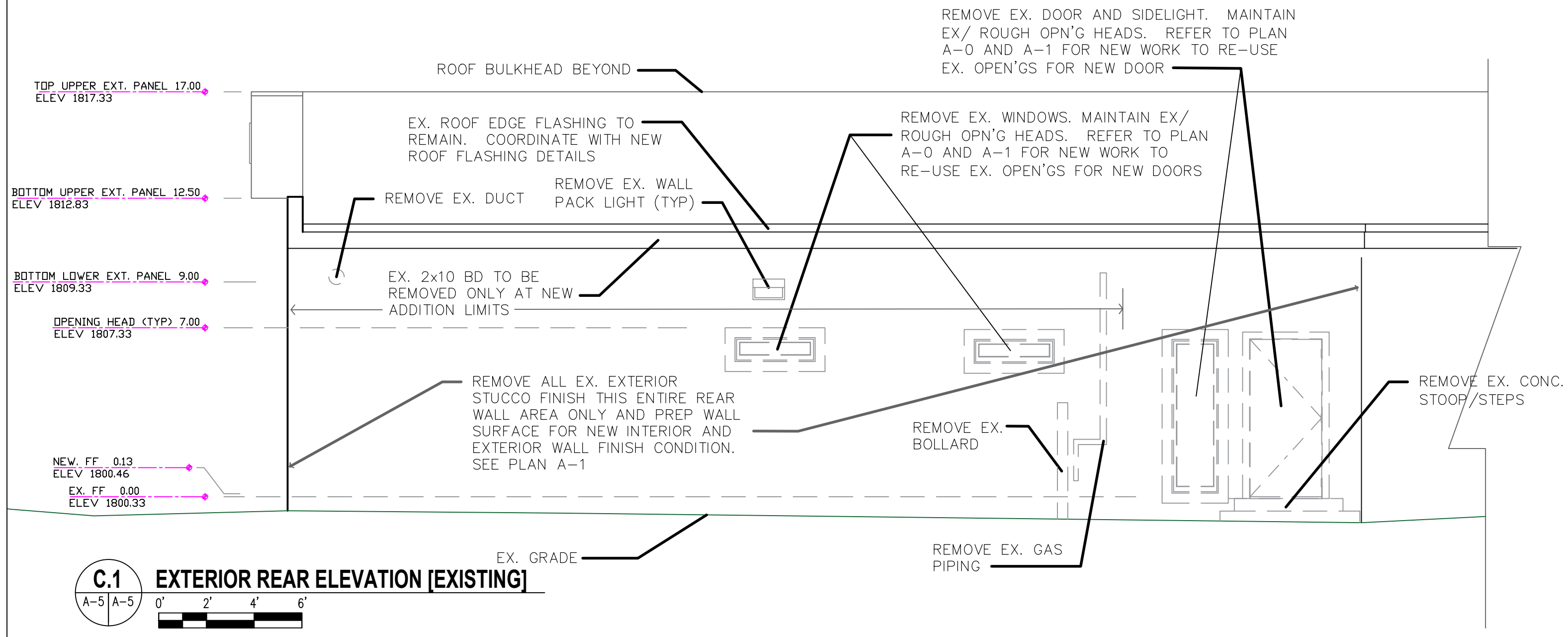
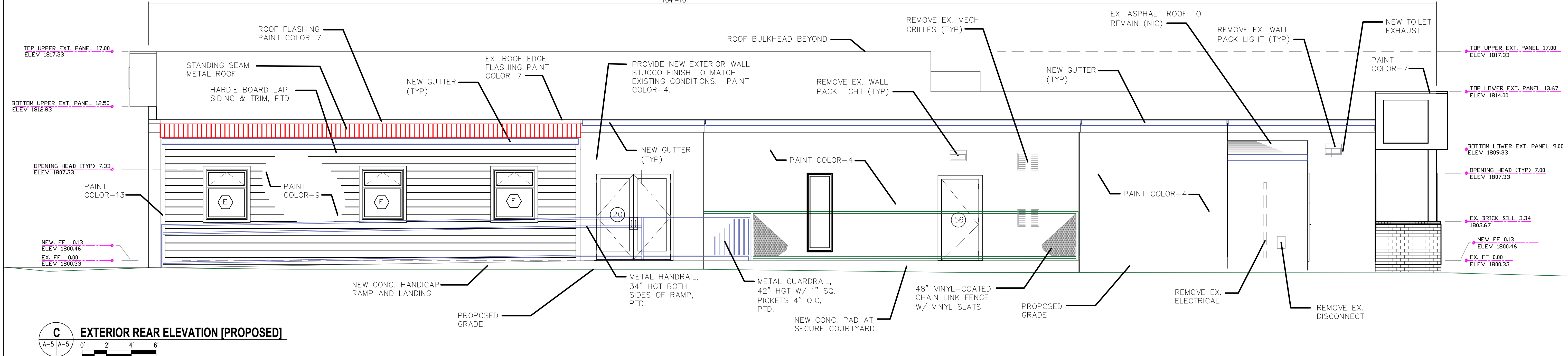
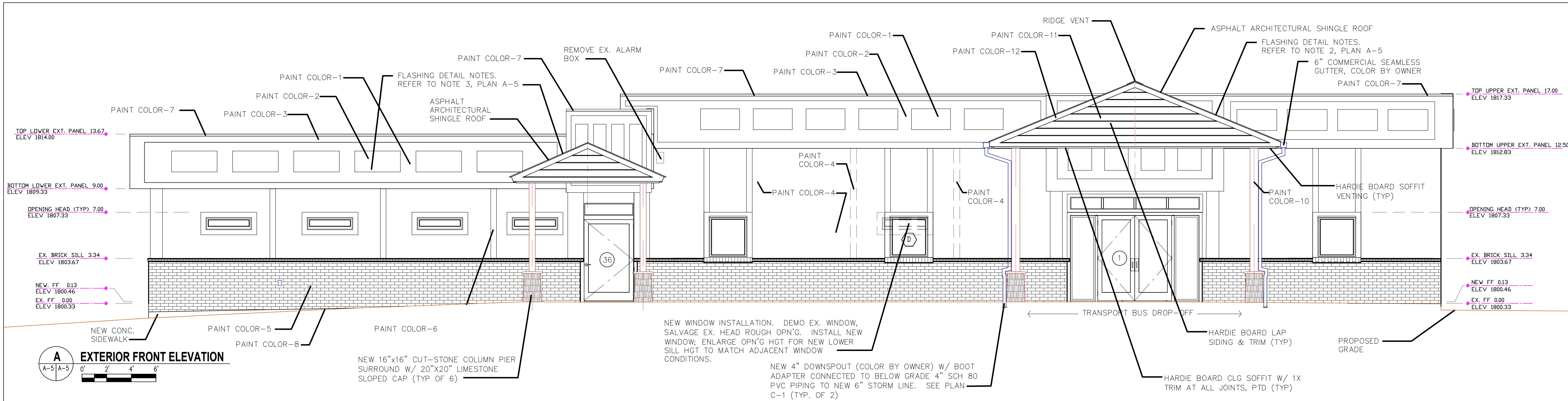
Revision		Date	By	Check
No.	1	03/23/24	05/17/24	
95% REVIEW SET		PERMIT & BID SET		

MOUNT RODGERS PLACE
BRISTOL, VIRGINIA
180 Bristol East Road - Bristol, Virginia 24201

Date	Scale	AS INDICATED	Drawn By	Checked By
03/23/24	A-4	AS INDICATED		

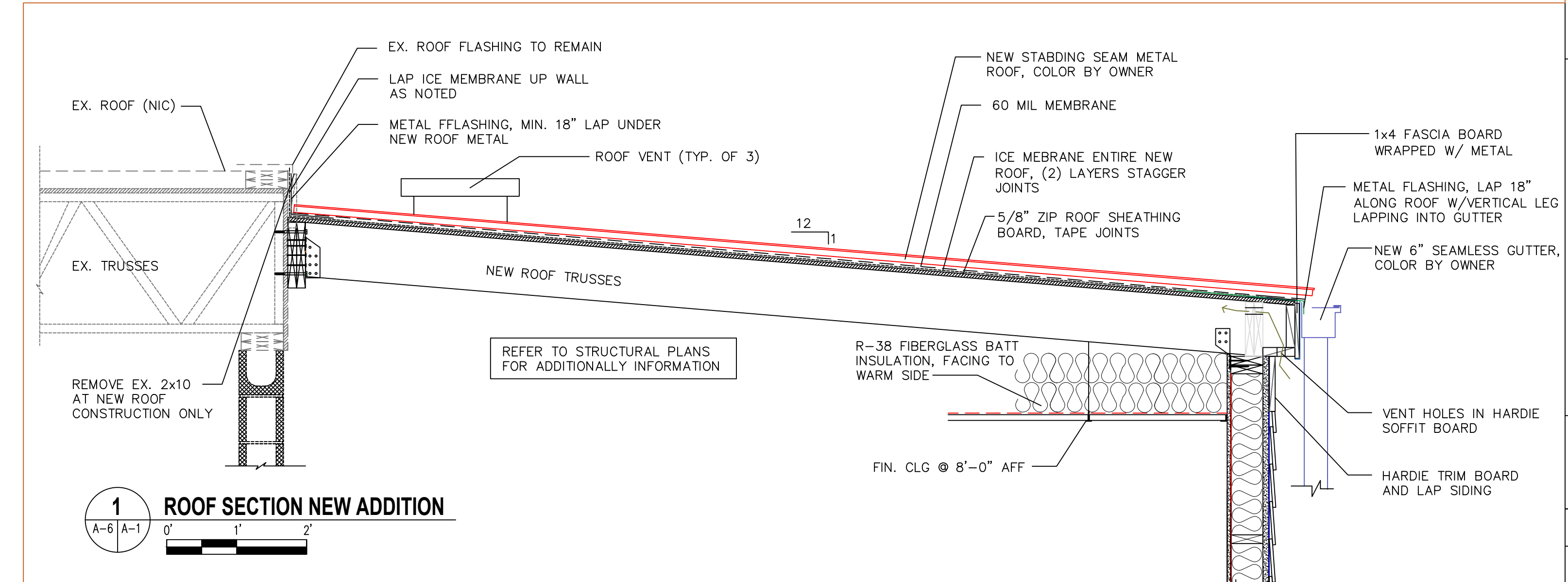
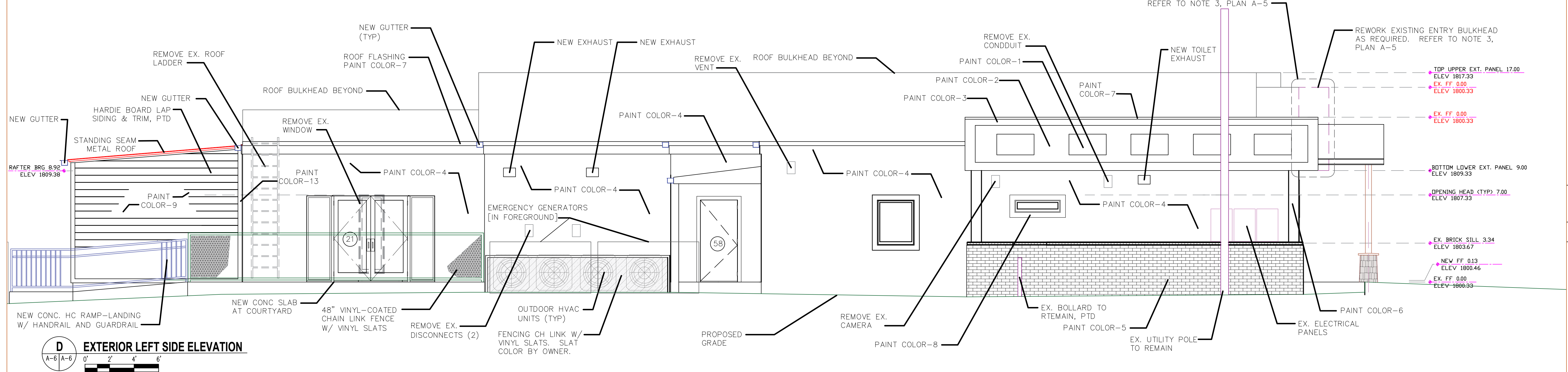
Project Number

A-4



- GENERAL EXTERIOR ELEVATION NOTES**
- REFER TO PLAN SHEET A-1 FOR ALL NEW WORK CONSTRUCTION LAYOUT DIMENSIONS. COORDINATE ADDITIONAL EXTERIOR ELEVATION NOTES ON PLAN SHEET A-6 WITH THESE NOTES.
 - LARGE MAIN ENTRY CANOPY:
 - CANOPY IS A SELF-SUPPORTING STRUCTURE, NOT STRUCTURALLY CONNECTED TO EXISTING BUILDING; REFER TO STRUCTURAL PLANS. CONTRACTOR SHALL PROVIDE METAL FLASHING DETAIL BETWEEN NEW ROOF AND EXISTING LARGE MAIN ENTRY STUCCO BULKHEAD TO ENSURE WATERTIGHT SEAL AT THIS ROOF-BULKHEAD JOINT. PRIOR TO METAL FLASHING APPLICATION, PROVIDE ICE MEMBRANE HORIZONTALLY ON ROOF MIN. 18 AND TURNED UP EXISTING EXTERIOR WALL MINIMUM 12".
 - NEW BULKHEAD FLUSH SURFACE AT ROOF JOINT MAY BE CREATED, AT CONTRACTOR'S DISCRETION, BY BUILDING OUT RAISED STUCCO PANEL OR CUTTING BACK RAISED STUCCO PANEL. REVIEW WITH OWNER PRIOR TO PROCEEDING WITH DETAIL.
 - PATCH BULKHEAD CONDITIONS TO MATCH EXISTING AT ADJACENT SURFACES.
 - SMALLER NURSE'S ENTRY CANOPY:
 - CANOPY IS CONNECTED STRUCTURALLY TO EXISTING BUILDING; REFER TO STRUCTURAL PLANS. NEW ROOF TRUSS TO BE SET TIGHT AGAINST EX. PLYWOOD SUB BASE AT EXISTING EXTERIOR BEARING WALL. CONTRACTOR SHALL PROVIDE FLASHING DETAIL BETWEEN NEW ROOF AND EXISTING EXTERIOR WALL CONDITIONS TO ENSURE WATERTIGHT SEAL AT THIS ROOF-BULKHEAD JOINT. PRIOR TO METAL FLASHING APPLICATION, PROVIDE ICE MEMBRANE HORIZONTALLY ON ROOF MIN. 18 AND TURNED UP EXISTING EXTERIOR WALL MINIMUM 12".
 - NEW BULKHEAD FLUSH SURFACE AT ROOF JOINT SHALL BE CREATED BY BUILDING OUT STUCCO PANEL. REVIEW WITH OWNER PRIOR TO PROCEEDING WITH DETAIL.
 - PATCH BULKHEAD CONDITIONS TO MATCH EXISTING AT ADJACENT SURFACES.

Project Number		Date 03.29.24	MOUNT RODGERS PLACE BRISTOL, VIRGINIA 180 Bristol East Road - Bristol, Virginia 24201																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
----------------	--	------------------	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



Project Number	Date 03.29.24	MOUNT RODGERS PLACE BRISTOL, VIRGINIA 180 Bristol East Road - Bristol, Virginia 24201	No.	Date	Revision
	Scale AS INDICATED				95% REVIEW SET
	Designed By			05.17.24	PERMIT & BID SET
	Drawn By				
	Checked By				
Sheet					
A-6	EXTERIOR ELEVATIONS RIGHT AND LEFT SIDES				